

1. September 23, 2020 Agenda

Documents:

[0916.PDF](#)
[0923.PDF](#)

2. Site Plan Review - Verizon At 106 Stephen Hands Path PWSF

Documents:

[VERIZON 106 STEPHEN HANDS PATH13468820200918101830.PDF](#)
[VERIZON 106 STEPHEN HANDS PATH REVISED DRAWINGS 07-31-20 SS.PDF](#)

3. Site Plan Review - 44 Three Mile Harbor Road

Documents:

[SITE PLAN - 44 THREE MILE HARBOR RD SP13471820200918113227.PDF](#)
[44 THREE MILE HARBOR RD RENDERING 02_AERIAL VIEW OF WEST ELEVATION.PDF](#)
[44 THREE MILE HARBOR RENDERING 01_SOUTH WEST PERSEPCTIVE.PDF](#)
[44 THREE MILE HARBOR9055 - PROPOSED_8-10-2020.PDF](#)
[PLANNING BOARD SET_44 THREE MILE HARBOR RD EAST HAMPTON_08-10-20.PDF](#)
[RENDERING 01_SOUTH WEST PERSEPCTIVE_PAGE_1_IMAGE_0001.JPG](#)

**PLANNING BOARD
TOWN OF EAST HAMPTON**

AGENDA FOR MEETING OF:

September 16, 2020

Board of Review:

Planning Board:

REGULAR MEETING

SUBDIVISIONS:

SUBWAIVER:

SITE PLAN:

OTHER:

URBAN RENEWAL:

COMPREHENSIVE PLAN:

OLD FILED MAPS:

PUBLIC HEARINGS:

**PLANNING BOARD
TOWN OF EAST HAMPTON
WORK SESSION:
September 16, 2020**

SUBDIVISION REVIEW:

SUBWAIVER REVIEW:

SITE PLAN REVIEW:

Moby's
Abbey's Happy Hounds Preliminary
Accabonac Grove Cemetery Expansion II

Cunningham/Schantz/East Hampton
Parsons/Mubassirah/East Hampton
Krug/Mubassirah/Springs

COMPREHENSIVE PLAN:

ZONE CHANGES:

OTHER:

OLD FILED MAPS:

**PLANNING BOARD
TOWN OF EAST HAMPTON**

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**PLANNING BOARD
TOWN OF EAST HAMPTON
WORK SESSION:
September 23, 2020**

SUBDIVISION REVIEW:

SUBWAIVER REVIEW:

SITE PLAN REVIEW:

Verizon at 106 Stephen Hands Path PWSF
44 Three Mile Harbor Road

Krug/Schantz/Wainscott
McCobb/Wu/East Hampton

COMPREHENSIVE PLAN:

ZONE CHANGES:

OTHER:

OLD FILED MAPS:



TOWN OF EAST HAMPTON

300 Pantigo Place – Suite 105
East Hampton, New York 11937-2684

Planning Department
JoAnne Pahwul, AICP
Director

Telephone (631) 324-2178
Fax (631) 324-1476

September 14, 2020

TO: Planning Board

FROM: Eric Schantz
Senior Planner 

RE: Verizon Wireless @ 106 Stephen Hands Path Personal Wireless Service Facility (PWSF) Site Plan/Special Permit
SCTM# 300-193-2-4
106 Stephen Hands Path, Wainscott

Last Review Date: April 22, 2020

Items and Date Received: 09/11/20 Applicant submission; Cover letter re: Ten (10) sets of revised drawings prepared by APT Engineering – Scott M. Chasse PE (Sheet T-1 Title Sheet & Index); (Sheet VB101 Boundary & Topographic Survey – dated March 16, 2018); (Sheet R-1 1000' Radius Map dated April 15, 2019); (Sheet R-2 1000' Radius Property Owners April 15, 2019); (Sheet V-1 Vicinity Map dated April 15, 2019); (Sheet SP-1 Overall Site Plan – April 15, 2019); (Sheet Sp-2 Partial Site Plan sated April 15, 2019); (Sheet Sp-3 Access Drive Profile & Detail dated April 15, 2019); (Sheet EC-1 Erosion Control Notes & Details dated April 15, 2019); (Sheet CP-1 Compound Plan dated April 15, 2019); (Sheet A-1 Elevation dated April 15, 2019); (Sheet A-2 Elevations dated April 15, 2019); (Sheet C-1 Equipment Space Plan & Details dated April 15, 2019), (Sheet C-2 Antenna Plan & Details dated April 15, 2019); (Sheet C-3 Site Details dated April 15, 2019); (Sheet C-4 Verizon Equipment Light Details dated April 15, 2019); (Sheet M-1 Mechanical Plan & Detail dated April 15, 2019); (Sheet S-1 Structural Plan & Details); (Sheet E-1 Electrical Riser & Details dated April 15, 2019); (Sheet E-2 Electrical Plan, One Line Diagram & Details dated April 15, 2019); (Sheet E-3 Grounds Plans dated April 15, 2019); (Sheet E-4 Grounding Details dated April 15, 2019); (Sheet N-1 Notes & Specification dated April 15, 2019); Ten (10) packets of Visual Assessment and Photo-Simulations of the proposed Communication Facility prepared by APT Engineering in August 2020; Ten (10) Antenna Site FCC RF Compliance Assessment and Report prepared by Pinnacle Telecom Group, dated August 3, 2020, which demonstrates that the redesigned Communication Facility is compliant with the FCC's regulations; Ten (10) Supplemental RF Report prepared by C Squared Systems, LLC, dated August 28, 2020; Ten (10) Full Environmental Assessment Form prepared by VHB, dated August 20, 2020, Ten (10) copies of report prepared by VBH dated

September 1, 2020, which addresses the proposed unipole and visibility of same, environmental conditions at the Property, and alternative sites investigated; Ten (10) copies of Federal Aviation Administration Determination of No Hazard to Air Navigation issued on November 26, 2018, and Extension issued on May 13, 2020; Ten (10) copies of an advertisement placed in the East Hampton Star on August 13, 2020, by the Citizens for Better Cell Phone Coverages; and Ten (10) copies of correspondence from the Town Supervisor, dated August 14, 2020, addressing wireless coverage in the Town.

Background Information: Application has been made for a new personal wireless service facility consisting of a new 110' AGL stealth monopole containing eight (8) interior-mounted panel antennas, a 10' X 17' (170 sq. ft.) concrete pad with a canopy to situate electrical equipment on, an emergency propane generator with a 250 gallon tank, all to be situated in a 1,353 sq. ft. fenced-in compound along with a new gravel access road, lighting and re-vegetation.

The subject parcel is situated in Wainscott and is zoned A5: Residence with a Water Recharge Overlay District (WROD) designation. It is owned by the Town of East Hampton and contains maintenance and storage facilities of the East Hampton Town Highway Department. The property is also situated in a number of areas unique for groundwater protection including Suffolk County designated Pine Barrens and the South Fork Special Groundwater Protection Area. There are expansive areas of freshwater wetlands to the immediate west and partially on the subject parcel.

Issues for Discussion:

Height

At the time of the initial review, the Planning Board had asked for the applicants to consider proposing a facility with a 70' tall stealth monopole, which would be roughly 10' above existing tree height as encouraged by the specific special permit standards. The applicants have submitted a supplement RF report (prepared by C Squared Systems, LLC dated August 28, 2020). This report provides estimated service coverage for a 70' tall monopole and a 120' tall monopole for both "in-vehicle" and "in-building" scenarios. It is stated in this report and illustrated in the coverage maps that a 70' tall monopole would not be sufficient to alleviate a coverage gap and would not allow Verizon to provide coverage along Montauk Highway and link up with its recently-approved facility on Daniel's Hole Road. The applicants have reduced the proposed height of the stealth monopole from 120' AGL to 110' AGL. It is stated that this is not ideal but would be sufficient to meet Verizon's coverage needs while slightly reducing overall height.

Visual Assessment

At the time of the initial review, the applicants submitted a visual assessment based off of a balloon float and field reconnaissance performed on March 12, 2020. Renderings for 21 different locations in the surrounding area were provided. These renderings indicated that a 120' tall stealth monopole would be visible to varying degrees from the following locations:

- Town Highway Department facility on the subject parcel (year-round)
- Town recreational facility and playing fields to the north on Stephen Hands Path (year-round)
- Stephen Hands Path (year-round)
- Montauk Highway (both year-round and seasonally)
- Huckleberry Lane (both year-round and seasonally)

The Planning Board subsequently asked for additional visual renderings for both a 70' tall monopole and the then proposed 120' tall monopole at additional locations, specifically at Georgica Pond and Wainscott Stone Road. The applicants have not provided visual renderings for a 70' tall monopole as they have stated that this height is not feasible to alleviate coverage gaps, as noted above.

Visual renderings for the proposed 110' tall monopole at an additional six (6) locations have been provided. These include:

- Fernwood Lane at Stone Road
- Stone Road
- Main Street at Sayre's Path
- Wainscott Beach (end of Georgica Association Road)
- Georgica Beach (end of Ocean Avenue, Village of East Hampton)
- Fulling Mill Farm Preserve at Briar Patch Road

The visual renderings indicate that out of these additional locations the proposed facility would only be visible from Wainscott Beach. The Board should determine if these additional renderings are sufficient or if any additional information is required at this time.

Alternative Locations

As required by the specific special permit standards for a personal wireless service facility the Planning Department offered alternatives to the proposed project in the initial evaluation. These included a stealth monopole of shorter height, which as addressed above the applicants have identified as not feasible to alleviate their coverage needs, and one or more poles on the subject parcel and/or adjacent Town-owned parcels in the immediate area.

The applicants have submitted an evaluation of the feasibility of constructing one or more poles on adjoining properties (prepared by VHB dated September 1, 2020). The Board should read this evaluation however, in summary, the identified parcels were deemed to be less desirable alternatives for a number of reasons including; designation as nature preserves, greater required clearing, closer proximity to Montauk Highway, and greater visibility from the Town recreational facility.

Lighting

The applicants have submitted a site lighting plan (prepared by APT Engineering dated last revised July 31, 2020). A total of two (2) light fixtures are proposed for the canopy-

covered equipment area. Both fixtures are the same model, a 52 Watt LED fully-shielded wall pack mounted at 9' in height.

A 52 Watt fixture is excessive for this application as indicated by the photometric plot which identifies light incidence readings of 20 foot-candles. An alternative fixture of similar design and specifications not to exceed 12 Watts should be chosen. The lighting plan should be amended accordingly.

Grading & Drainage

At the time of the initial review the Planning Board required that a grading and drainage plan (or plans) be submitted. The applicants have submitted a grading plan which details existing and proposed grades for the new access road. A drainage plan and associated calculations has not been provided. The cover letter from Amato Law Group, PLLC dated September 11, 2020 notes that: "...the engineer advised that a drainage plan was not provided since the existing drainage patterns will remain the same and will not be altered by the proposed improvements on the Property..."

The Planning Department notes that the plans (Sheet SP-1 Partial Site Plan) indicate that the driveway will be gravel, presumably making it semi if not fully permeable and that the location of the driveway is a substantial distance from any property line. Storm water that runs off of the driveway will have ample area surrounding to facilitate direct recharge into the ground. However, the Board should determine if any additional information pertaining to drainage and storm water run-off control is required at this time.

The submitted plan does not provide details for the composition of the driveway or construction entrance (the plan merely identifies a "12' wide gravel access driveway"). A standard road profile indicating the type and size of the gravel as well as any base layer such as recycled concrete aggregate (RCA) should be provided for both the driveway and construction entrance. The applicants should note that recycled asphalt product (RAP) should not be used.

RF Engineer's Report

The applicants have submitted a radio frequency engineer's report (prepared by Pinnacle Telecom Group dated August 3, 2020) which verifies that the proposed facility will meet Federal Communications Commission (FCC) standards.

Federal Aviation Administration (FAA)

The applicants have submitted a determination of no hazard to air navigation from the Federal Aviation Administration.

Conclusion

In conclusion, the Board should determine if any additional information is required at this time, particularly as pertains to potential visual impacts. Should no additional information be required then it appears that the application is complete and ready to be scheduled for

a public hearing once an amended lighting plan and the information pertaining to driveway composition have been received.

ES

Planning Board Consensus

Is any additional information pertaining to visual impacts required?

Additional comments: _____

Should the proposed exterior lighting and lighting plan be amended as noted above?

Additional comments: _____

Should a standard driveway profile identifying what materials are proposed be submitted?

Additional comments: _____

Additional Board Comments:



WEST NYACK, NEW YORK

WIRELESS SERVICES FACILITY

"WAINSCOTT 3"

106 STEPHEN HANDS PATH WAINSCOTT, NY 11937

SITE INFORMATION

VZW SITE NAME: "WAINSCOTT 3"
 VZW SITE PROJECT CODE: 20171584246
 VZW LOCATION CODE: 446966
 PROJECT LOCATION: 106 STEPHEN HANDS PATH
 WAINSCOTT, NY 11937

SITE TYPE/DESCRIPTION: GROUND MOUNTED EQUIPMENT & PROP.
 110'± AGL UNIPOLE WITHIN 1,353± SF FENCED
 TELECOMMUNICATIONS COMPOUND.

GENERATOR INFORMATION: PROPANE-POWERED GENERATOR

TOWER OWNER: TOWN OF EAST HAMPTON
 159 PANTIGO ROAD
 EAST HAMPTON, NY 11937

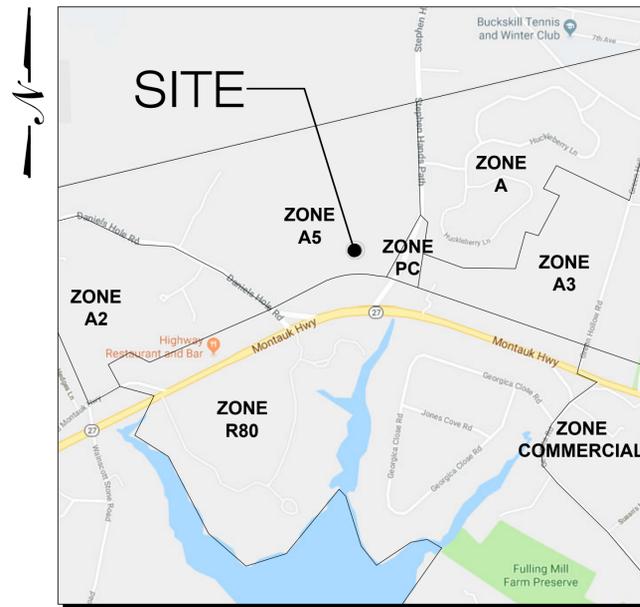
SITE CONTACT: JOHN JILNICKI - ATTORNEY
 (631) 324-8787
 STEPHEN LYNCH - HIGHWAY DEPT.
 (631) 324-0925

LEASING CONTACT: ROBERT MONTELEONE
 (516) 316-4626

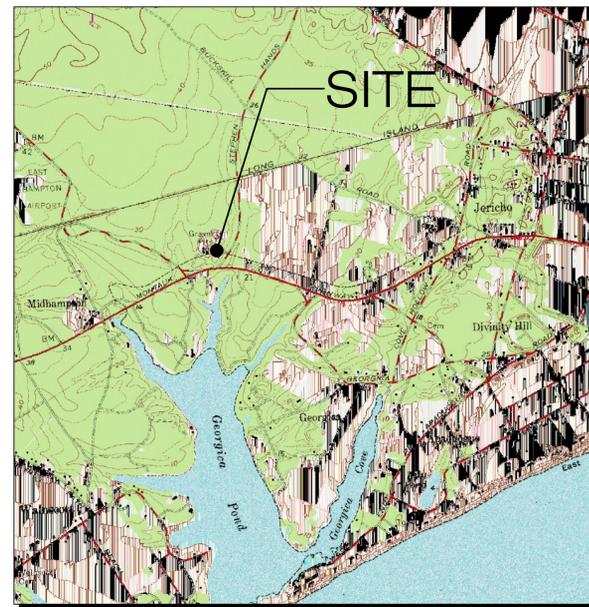
CONSTRUCTION CONTACT: OMAR ZEERBAN
 (860) 581-4865

ENGINEER CONTACT: ROBERT C. BURNS, P.E.
 (860) 663-1697 x206

LATITUDE: 40° 57' 16.2670" N
 LONGITUDE: 72° 13' 51.1198" W
 ELEVATION: 22.4'± AMSL
 DISTRICT: 300
 SECTION: 193
 BLOCK: 2
 LOT: 4
 ZONING: A5



VICINITY MAP
 SCALE: 1" = 1000'-0"



LOCATION MAP
 SCALE: 1" = 24,000'

LIST OF DRAWINGS

- T-1 TITLE SHEET & INDEX
- VB101 BOUNDARY & TOPOGRAPHIC SURVEY
- R-1 1000' RADIUS MAP
- R-2 1000' RADIUS PROPERTY OWNERS
- V-1 VICINITY MAP
- SP-1 OVERALL SITE PLAN
- SP-2 PARTIAL SITE PLAN
- SP-3 ACCESS DRIVE PROFILE & DETAILS
- EC-1 EROSION CONTROL NOTES & DETAILS
- CP-1 COMPOUND PLAN
- A-1 ELEVATIONS
- A-2 ELEVATIONS
- C-1 EQUIPMENT SPACE PLAN & DETAILS
- C-2 ANTENNA PLAN & DETAILS
- C-3 SITE DETAILS
- C-4 EQUIPMENT LIGHTING DETAILS
- S-1 STRUCTURAL PLAN & DETAILS
- M-1 MECHANICAL PLAN & DETAILS
- E-1 ELECTRICAL RISER & DETAILS
- E-2 ELECTRICAL PLAN, ONE LINE DIAGRAM & DETAILS
- E-3 GROUNDING PLANS
- E-4 GROUNDING DETAILS
- N-1 NOTES & SPECIFICATIONS

APPLICANT:
 VERIZON WIRELESS
 4 CENTEROCK RD.
 WEST NYACK, NY 10994

VERIZON PROJECT ATTORNEY:
 AMATO LAW GROUP, PLLC
 666 OLD COUNTRY ROAD
 SUITE 901
 GARDEN CITY, NY 11530
 (516) 227-6363

POWER PROVIDER:
 PSEG: (800) 490-0025

TELCO PROVIDER:
 VERIZON (914) 890-0200

DIG SAFELY NEW YORK:
 (800) 962-7962

GOVERNING CODES:
 2020 NEW YORK STATE UNIFORM FIRE
 PREVENTION & BUILDING CODE
 NATIONAL ELECTRIC CODE
 TIA-222-H

verizon
 4 CENTEROCK ROAD
 WEST NYACK, NY 10994



567 VALUXHAUL STREET EXTENSION - SUITE 311
 WATERFORD, CT 06385 PHONE: (860) 663-1697
 WWW.ALLPOINTS TECH.COM FAX: (860) 663-0935

PERMITTING DOCUMENTS		
NO	DATE	REVISION
0	04/15/19	FOR REVIEW: RCB
1	05/08/19	ATTORNEY REVISIONS: RCB
2	07/17/19	ATTORNEY REVISIONS: RCB
3	03/06/20	REVISED LAYOUT: RCB
4	03/12/20	ATTORNEY REVISIONS: RCB
5	03/19/20	ATTORNEY REVISIONS: RCB
6	03/30/20	ATTORNEY REVISIONS: RCB
7	06/19/20	TOWN COMMENTS: RCB
8	07/24/20	FOR REVIEW: RCB
9	07/29/20	FOR REVIEW: RCB
10	07/31/20	ATTORNEY REVISIONS: RCB

DESIGN PROFESSIONALS OF RECORD
 PROF: SCOTT M. CHASSE, P.E.
 COMP: APT ENGINEERING
 ADDR: 567 VALUXHAUL STREET
 EXTENSION - SUITE 311
 WATERFORD, CT 06385

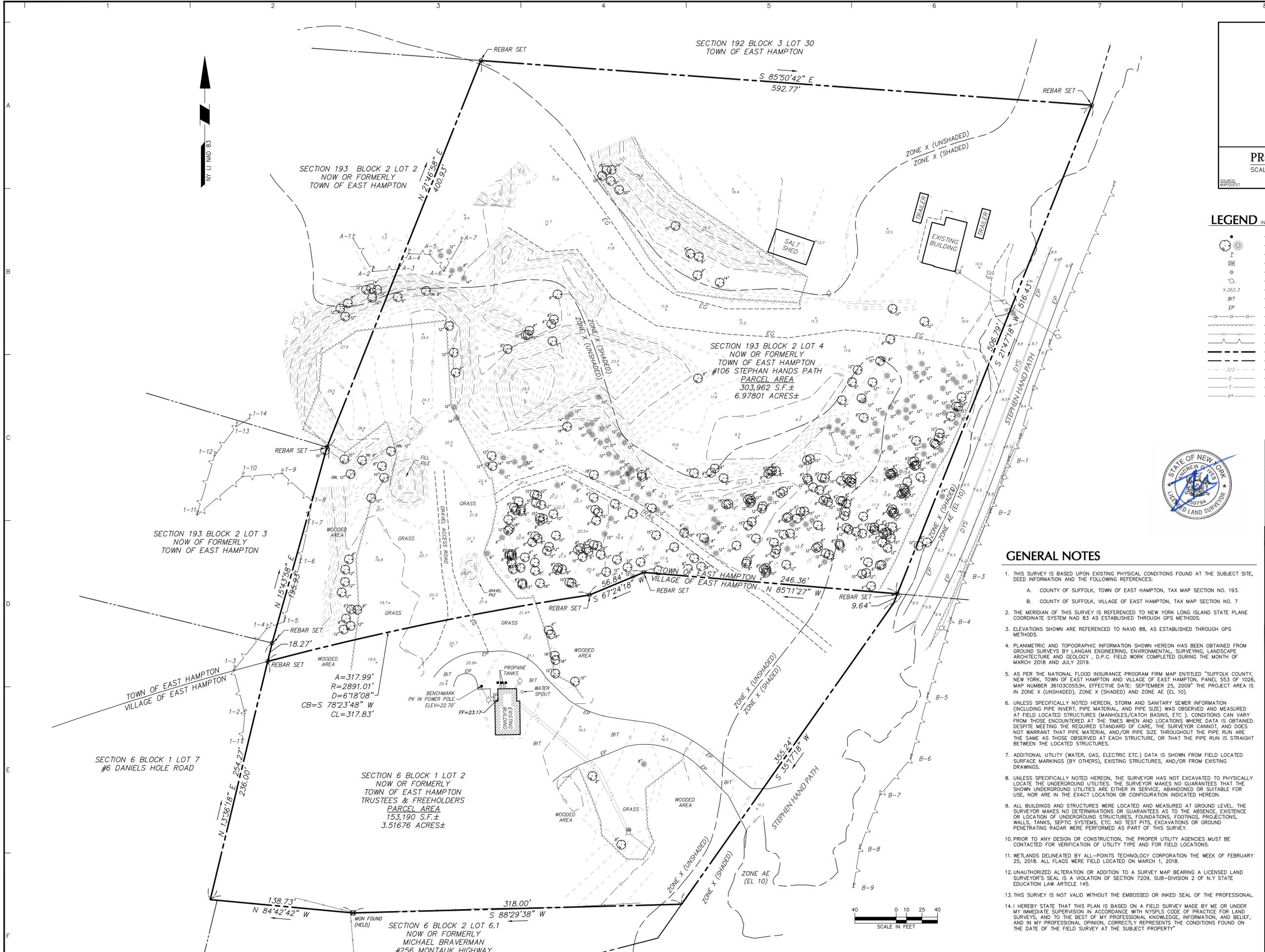
OWNER: TOWN OF EAST HAMPTON
 ADDRESS: 159 PANTIGO ROAD
 EAST HAMPTON, NY 11937

NOTE:
 IT IS A VIOLATION OF NEW YORK STATE
 EDUCATION LAW ARTICLE 145, SECTION
 7209 (2) FOR ANY PERSON, UNLESS
 ACTING UNDER THE DIRECTION OF A
 LICENSED PROFESSIONAL ENGINEER OR
 LAND SURVEYOR, TO ALTER AN ITEM IN
 ANY WAY. IF AN ITEM BEARING THE SEAL
 OF AN ENGINEER OR LAND SURVEYOR IS
 ALTERED, THE ALTERING ENGINEER OR
 LAND SURVEYOR SHALL AFFIX TO THE
 ITEM HIS SEAL AND THE NOTATION
 "ALTERED BY" FOLLOWED BY THE
 SIGNATURE AND THE DATE OF SUCH
 ALTERATION, AND A SPECIFIC
 DESCRIPTION OF THE ALTERATION.

VERIZON WIRELESS AT
 "WAINSCOTT 3"
 SITE: 106 STEPHEN HANDS PATH
 ADDRESS: WAINSCOTT, NY 11937
 APT FILING NUMBER: NY141NB3300
 PROJECT CODE: 20171584246
 LOCATION CODE: 446966
 VZ CM: OZ DRAWN BY: ELZ
 DATE: 04/15/19 CHECKED BY: RCB

SHEET TITLE:
**TITLE SHEET
 & INDEX**

SHEET NUMBER:
T-1



PROJECT LOCATION MAP
SCALE: NOT TO SCALE

SOURCE: MAPQUEST

LEGEND (NOT SHOWN TO SCALE)

	BOLLARD
	TREE
	WETLAND FLAG
	ELECTRIC METER
	LIGHT POLE
	POWER POLE
	SPOT ELEVATION
	BITUMINOUS
	EDGE OF PAVEMENT
	STOCKADE FENCE
	TREE LINE
	OVERHEAD WIRE
	WETLAND LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	CONTOUR LINE
	ELECTRIC MARK OUT LINE
	COMMUNICATION MARK OUT LINE
	REFERENCE UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPPING



Date	Description	No.
6/26/20	REVISED WETLANDS	5
5/27/20	REVISED WETLANDS & REBAR SET ON PROPERTY CORNERS	4
3/12/20	ADDRESSED COMMENTS	3
1/13/20	ADDITIONAL TOPO AREA	2
7/9/19	ADDITIONAL TOPO AREA	1

REVISIONS

ANDREW G. IVES DATE SIGNED
PROFESSIONAL LAND SURVEYOR
NY STATE LIC. No. 50794

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

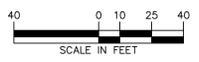
Project
WAINSCOTT 3
TOWN OF EAST HAMPTON
SUFFOLK COUNTY STATE OF NEW YORK
Drawing Title

BOUNDARY & TOPOGRAPHIC SURVEY

Project No. 14018101	Drawing No. VB101
Date MARCH 16, 2018	
Scale 1"=40'	
Drawn By JIS	Checked By AGI
Submission Date	Sheet 1 of 1

GENERAL NOTES

- THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:
A. COUNTY OF SUFFOLK, TOWN OF EAST HAMPTON, TAX MAP SECTION NO. 193.
B. COUNTY OF SUFFOLK, VILLAGE OF EAST HAMPTON, TAX MAP SECTION NO. 7
- THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK LONG ISLAND STATE PLANE COORDINATE SYSTEM NAD 83 AS ESTABLISHED THROUGH GPS METHODS.
- ELEVATIONS SHOWN ARE REFERENCED TO NAVD 88, AS ESTABLISHED THROUGH GPS METHODS.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C. FIELD WORK COMPLETED DURING THE MONTH OF MARCH 2018 AND JULY 2019.
- AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP ENTITLED "SUFFOLK COUNTY, NEW YORK, TOWN OF EAST HAMPTON AND VILLAGE OF EAST HAMPTON, PANEL 553 OF 1026, MAP NUMBER 3610300553H, EFFECTIVE DATE: SEPTEMBER 25, 2009" THE PROJECT AREA IS IN ZONE X (UNSHADED), ZONE X (SHADED) AND ZONE AE (EL 10).
- UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
- ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA IS SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
- UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
- ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.
- PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- WETLANDS DELINEATED BY ALL-POINTS TECHNOLOGY CORPORATION THE WEEK OF FEBRUARY 25, 2018. ALL FLAGS WERE FIELD LOCATED ON MARCH 1, 2018.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF N.Y STATE EDUCATION LAW ARTICLE 145.
- THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.
- I HEREBY STATE THAT THIS PLAN IS BASED ON A FIELD SURVEY MADE BY ME OR UNDER MY IMMEDIATE SUPERVISION IN ACCORDANCE WITH NYSPLS CODE OF PRACTICE FOR LAND SURVEYS, AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, AND IN MY PROFESSIONAL OPINION, CORRECTLY REPRESENTS THE CONDITIONS FOUND ON THE DATE OF THE FIELD SURVEY AT THE SUBJECT PROPERTY.



PROJECT NO. 14018101



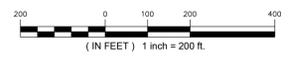
LEGEND

- SUBJECT PARCEL PROPERTY LINE
- ADJACENT PROPERTY LINE/R.O.W. LINE

NOTES:
 1. SEE SHEET R-2 FOR 1000' RADIUS PROPERTY OWNERS.
 2. TAX MAP & PROPERTY INFORMATION OBTAINED FROM SUFFOLK COUNTY GIS VIEWER AND THE TOWN OF EAST HAMPTON 2019 FINAL ASSESSMENT ROLL.

SUBJECT SITE PARCEL:
 0300-193-00-02-00-04-000
 106 STEPHEN HANDS PATH
 N/F
 TOWN OF EAST HAMPTON
 159 PANTIGO ROAD
 EAST HAMPTON, NY 11937
 303,962± S.F.
 6.98± ACRES
 ZONE: A5 (RESIDENTIAL)
 NORTHWEST FIRE
 PROTECTION DISTRICT

1 1000' RADIUS MAP
 R-1 SCALE : 1" = 200'-0"



verizon
 4 CENTEROCK ROAD
 WEST NYACK, NY 10994

APT ENGINEERING
 567 VALXHAUL STREET EXTENSION - SUITE 311
 WATERFORD, CT 06385 PHONE: (860)-663-1697
 WWW.ALLPOINTSTECH.COM FAX: (860)-663-0935

PERMITTING DOCUMENTS		
NO.	DATE	REVISION
0	04/15/19	FOR REVIEW: RCB
1	05/08/19	ATTORNEY REVISIONS: RCB
2	07/17/19	ATTORNEY REVISIONS: RCB
3	03/06/20	REVISED LAYOUT: RCB
4	03/12/20	ATTORNEY REVISIONS: RCB
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10	07/31/20	ATTORNEY REVISIONS: RCB

DESIGN PROFESSIONALS OF RECORD
 PROF: SCOTT M. CHASSE P.E.
 COMP: APT ENGINEERING
 ADD: 567 VALXHAUL STREET
 EXTENSION - SUITE311
 WATERFORD, CT 06385

OWNER: TOWN OF EAST HAMPTON
 ADDRESS: 159 PANTIGO ROAD
 EAST HAMPTON, NY 11937

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VERIZON WIRELESS AT "WAINSCOTT 3"
 SITE 106 STEPHEN HANDS PATH
 ADDRESS: WAINSCOTT, NY 11937
 APT FILING NUMBER: NY141NB3300
 PROJECT CODE: 20171584246
 LOCATION CODE: 446966
 VZ CM: OZ DRAWN BY: ELZ
 DATE: 04/15/19 CHECKED BY: RCB

SHEET TITLE:
 1000' RADIUS MAP

SHEET NUMBER:
 R-1



verizon
 4 CENTEROCK ROAD
 WEST NYACK, NY 10994



567 VAUXHAUL STREET EXTENSION - SUITE 311
 WATERFORD, CT 06385 PHONE: (860) 663-1697
 WWW.ALLPOINTS TECH.COM FAX: (860) 663-0935

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DESIGN PROFESSIONALS OF RECORD

PROF: SCOTT M. CHASSE P.E.
 COMP: APT ENGINEERING
 ADD: 567 VAUXHAUL STREET
 EXTENSION - SUITE 311
 WATERFORD, CT 06385

OWNER: TOWN OF EAST HAMPTON
 ADDRESS: 159 PANTIGO ROAD
 EAST HAMPTON, NY 11937

NOTE:
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 EDUCATION LAW ARTICLE 146, SECTION
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 "ALTERED BY" FOLLOWED BY THE
 SIGNATURE AND THE DATE OF SUCH
 ALTERATION, AND A SPECIFIC
 DESCRIPTION OF THE ALTERATION.

**VERIZON WIRELESS AT
 "WAINSCOTT 3"**

SITE 106 STEPHEN HANDS PATH
 ADDRESS: WAINSCOTT, NY 11937

APT FILING NUMBER: NY141NB3300

PROJECT CODE: 20171584246

LOCATION CODE: 446966

VZ CM: OZ DRAWN BY: ELZ

DATE: 04/15/19 CHECKED BY: RCB

SHEET TITLE:
**1000' RADIUS PROPERTY
 OWNERS**

SHEET NUMBER:

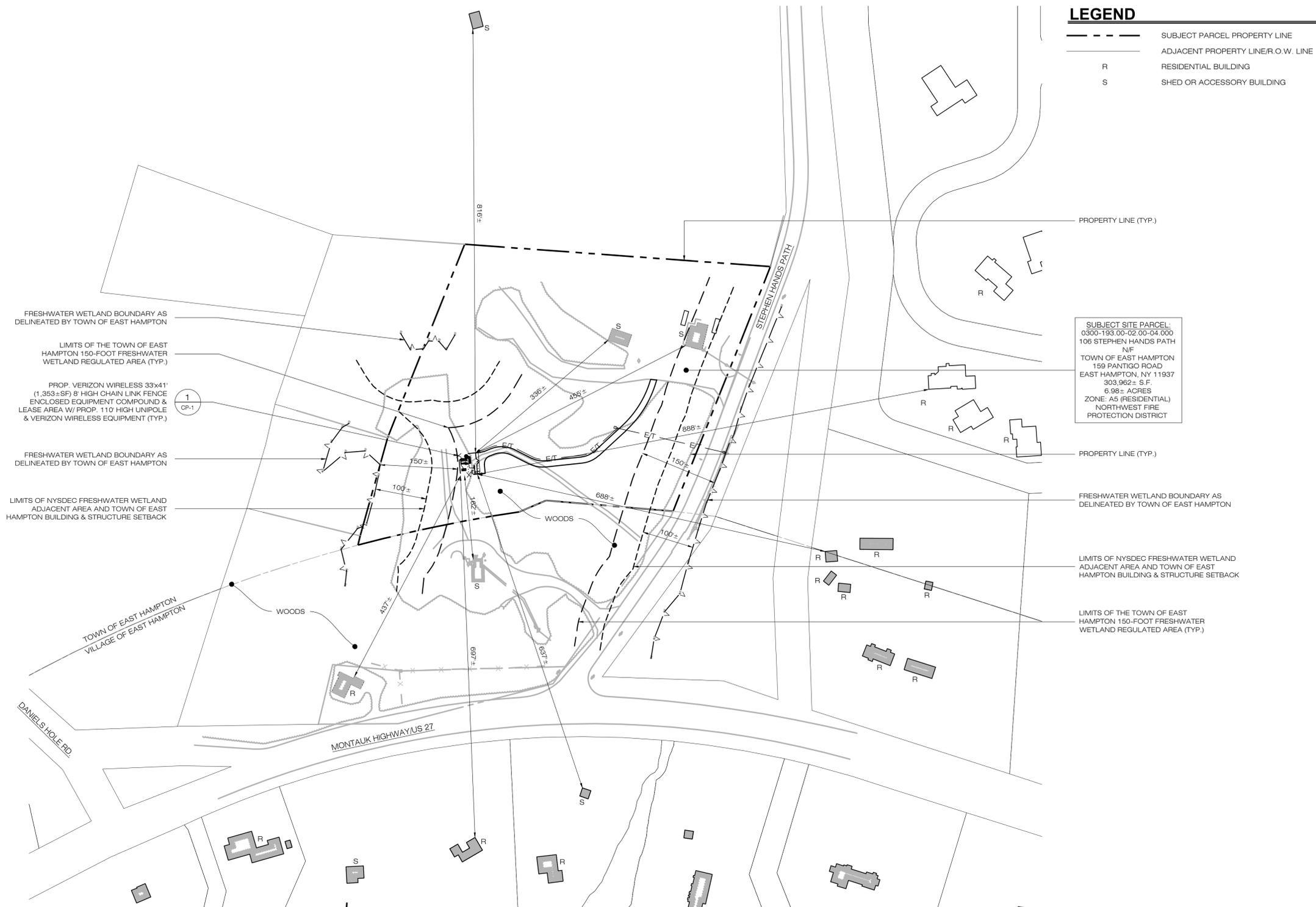
R-2



TOWN OF EAST HAMPTON
 1,000' RADIUS PROPERTY OWNERS
 (SEE DRAWING R-1 FOR PROPERTY LOCATIONS)

TAX MAP NUMBERS	NOW OR FORMER OWNERS	PROPERTY ADDRESS				OWNERS ADDRESS			
		STREET	CITY	STATE	ZIP	STREET	CITY	STATE	ZIP
0300192000300029000	TOWN OF EAST HAMPTON (NOT IN ASSESSMENT ROLL)								
0300192000300030000	TOWN OF EAST HAMPTON	MIDDLE HWY	EAST HAMPTON	NY	11975	159 PANTIGO RD	EAST HAMPTON	NY	11937
0300192000300031018	RICHARD J. LETTER	15 DANIELS HOLE RD	EAST HAMPTON	NY	11975	451 W 22ND ST APT 1F	NEW YORK	NY	10011
0300192000300031022	GEORGICA WOODS ASSOCIATES (NOT IN ASSESSMENT ROLL)								
0300193000100002000	MTA AND IRR (NOT IN ASSESSMENT ROLL)								
0300193000100003000	TOWN OF EAST HAMPTON (NOT IN ASSESSMENT ROLL)								
0300193000200001000	TOWN OF EAST HAMPTON	STEPHEN HANDS PATH	EAST HAMPTON	NY	11975	159 PANTIGO RD	EAST HAMPTON	NY	11937
0300193000200002000	TOWN OF EAST HAMPTON (NOT IN ASSESSMENT ROLL)								
0300193000200003000	TOWN OF EAST HAMPTON	STEPHEN HANDS PATH	EAST HAMPTON	NY	11975	159 PANTIGO RD	EAST HAMPTON	NY	11937
0300193000200004000	TOWN OF EAST HAMPTON	STEPHEN HANDS PATH	EAST HAMPTON	NY	11975	159 PANTIGO RD	EAST HAMPTON	NY	11937
0300193000200005000	TOWN OF EAST HAMPTON (NOT IN ASSESSMENT ROLL)								
0300193000200006001	CHRISTIAN E. MARTIN	5 BUCKSKILL RD	EAST HAMPTON	NY	11937	PO BOX 956	EAST HAMPTON	NY	11937
0300193000200007001	DAVID SEEHERMAN	11 GREEN HOLLOW RD	EAST HAMPTON	NY	11937	21 GRAPE ARBOR LANE	EAST HAMPTON	NY	11937
0300193000200007009	JOHN J. PETERSON	2 POTTERS LN	EAST HAMPTON	NY	11937	520 W 19TH ST APT 4C	NEW YORK	NY	10011
0300193000200007012	GEORGICA ESTATES PROPERTY OWNERS	3 POTTERS LN	EAST HAMPTON	NY	11937	PO BOX 1864	EAST HAMPTON	NY	11937
0300193000200007015	GEORGICA ESTATES PROPERTY OWNERS (NOT IN ASSESSMENT ROLL)								
0300193000200007016	GEORGICA ESTATES PROPERTY OWNERS (NOT IN ASSESSMENT ROLL)								
0300193000200007020	GEORGICA ESTATES PROPERTY OWNERS (NOT IN ASSESSMENT ROLL)								
0300193000200018000	CONDO UNIT OWNERS (NOT IN ASSESSMENT ROLL)								
0300193000200019000	CONDO UNIT OWNERS (NOT IN ASSESSMENT ROLL)								
0300193000200020000	CONDO UNIT OWNERS (NOT IN ASSESSMENT ROLL)								
0301007000100002000	VILLAGE OF EAST HAMPTON TRUSTEES & FREEHOLDERS	106 STEPHEN HANDS PATH	EAST HAMPTON	NY	11975	159 PANTIGO RD	EAST HAMPTON	NY	11937
0301006000100005000	GEORGICA WOODS ASSOCIATES (NOT IN ASSESSMENT ROLL)								
0301006000100006000	DAVID A. WATSON	272 MONTAUK HWY	EAST HAMPTON	NY	11975	MONTAUK HWY	BRIDGEHAMPTON	NY	11932
0301006000100007000	TOWN OF EAST HAMPTON	6 DANIELS HOLE RD	EAST HAMPTON	NY	11975	159 PANTIGO RD	EAST HAMPTON	NY	11937
0301006000100008000	J. DANIEL WEITZMAN	266 MONTAUK HWY	EAST HAMPTON	NY	11975	8 1/2 MAPLE AVE	CAMBRIDGE	MA	02139
0301006000100009001	CREEKS ACQUISITION CORP.	291 MONTAUK HWY	EAST HAMPTON	NY	11975	38 E 63RD ST	NEW YORK	NY	10021
0301007000100002000	TRUSTEES & FREEHOLDERS OF EAST HAMPTON (NOT IN ASSESSMENT ROLL)								
0301007000100003000	TRUSTEES & FREEHOLDERS OF EAST HAMPTON (NOT IN ASSESSMENT ROLL)								
0301007000100004000	CHRISTIAN E. MARTIN	240 MONTAUK HWY	EAST HAMPTON	NY	11937	PO BOX 956	EAST HAMPTON	NY	11937
0301007000100005001	DAVID SEEHERMAN	11 GREEN HOLLOW RD	EAST HAMPTON	NY	11937	21 GRAPE ARBOR LANE	EAST HAMPTON	NY	11937
0301007000100005003	GEORGICA ESTATES ASSOCIATES (NOT IN ASSESSMENT ROLL)								
0301007000100006001	MICHAEL BRAVERMAN	256 MONTAUK HWY	EAST HAMPTON	NY	11937	PO DRAWER 2023	EAST HAMPTON	NY	11937
0301007000300001000	263 MONTAUK HIGHWAY LLC	263 MONTAUK HWY	EAST HAMPTON	NY	11975	35 E 62 ST	NEW YORK	NY	10065
0301007000300002000	CREEKS TWO CORPORATION		EAST HAMPTON	NY	11975				
0301007000300003000	LS HOLDINGS ONE LLC	249 MONTAUK HWY	EAST HAMPTON	NY	11975	330 W 72ND ST APT 10 B	NEW YORK	NY	10023
0301007000300004000	PHYLLIS J. BERGER	44 GEORGICA CLOSE RD	EAST HAMPTON	NY	11937	319 HAMPTON RD	SOUTHAMPTON	NY	11968
0301007000300005000	PHYLLIS J. BERGER	GEORGICA CLOSE RD	EAST HAMPTON	NY	11937	PO BOX 1915	EAST HAMPTON	NY	11937
0301007000300006000	SUSAN U. HALPERN	48 GEORGICA CLOSE RD	EAST HAMPTON	NY	11937	580 PARK AVE	NEW YORK	NY	10021
0301007000300010000	NATURE CONSERVANCY (NOT IN ASSESSMENT ROLL)								
0301007000400001000	GEORGIA CURATOLA	36 GEORGICA CLOSE RD	EAST HAMPTON	NY	11937	245 PARK AVE	NEW YORK	NY	10167
0301007000400002000	ANNE Z. EASTON	28 GEORGICA CLOSE RD	EAST HAMPTON	NY	11937	444 E 82ND ST	NEW YORK	NY	10028
0301007000400009000	ALICE HARRIS	37 GEORGICA CLOSE RD	EAST HAMPTON	NY	11937	970 PARK AVE	NEW YORK	NY	10028

- NOTES:
 1. SEE SHEET R-1 FOR 1000' RADIUS MAP.
 2. TAX MAP & PROPERTY INFORMATION OBTAINED FROM SUFFOLK COUNTY GIS VIEWER AND THE TOWN OF EAST HAMPTON 2019 FINAL ASSESSMENT ROLL.



LEGEND

---	SUBJECT PARCEL PROPERTY LINE
---	ADJACENT PROPERTY LINE/R.O.W. LINE
R	RESIDENTIAL BUILDING
S	SHED OR ACCESSORY BUILDING

SUBJECT SITE PARCEL:
 0300-193.00-02.00-04.000
 106 STEPHEN HANDS PATH
 N/F
 TOWN OF EAST HAMPTON
 159 PANTIGO ROAD
 EAST HAMPTON, NY 11937
 303,962± S.F.
 6.98± ACRES
 ZONE A5 (RESIDENTIAL)
 NORTHWEST FIRE
 PROTECTION DISTRICT

verizon
 4 CENTEROCK ROAD
 WEST NYACK, NY 10994

APT ENGINEERING
 567 VAUXHAUL STREET EXTENSION - SUITE 311
 WATERFORD, CT 06385 PHONE: (860) 663-1697
 WWW.ALLPOINTS TECH.COM FAX: (860) 663-0935

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 COMP: APT ENGINEERING
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 WATERFORD, CT 06385

OWNER: TOWN OF EAST HAMPTON
ADDRESS: 159 PANTIGO ROAD
 EAST HAMPTON, NY 11937

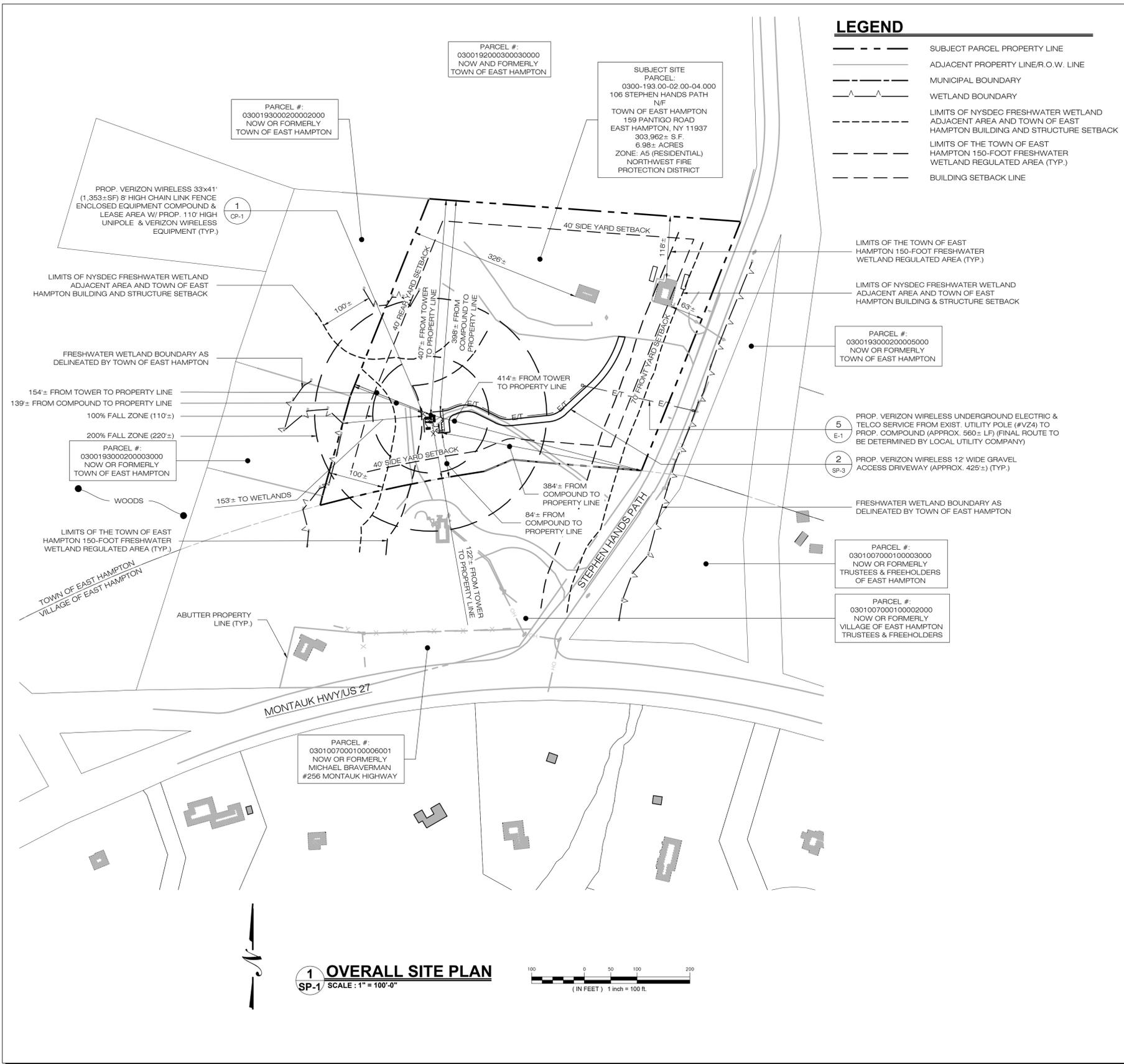
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VERIZON WIRELESS AT "WAINSCOTT 3"
SITE 106 STEPHEN HANDS PATH
ADDRESS: WAINSCOTT, NY 11937
APT FILING NUMBER: NY141NB3300
PROJECT CODE: 20171584246
LOCATION CODE: 446966
VZ CM: OZ **DRAWN BY:** ELZ
DATE: 04/15/19 **CHECKED BY:** RCB

SHEET TITLE:
 VICINITY MAP

SHEET NUMBER:
 V-1





LEGEND

- SUBJECT PARCEL PROPERTY LINE
- ADJACENT PROPERTY LINE/R.O.W. LINE
- MUNICIPAL BOUNDARY
- WETLAND BOUNDARY
- LIMITS OF NYSDEC FRESHWATER WETLAND ADJACENT AREA AND TOWN OF EAST HAMPTON BUILDING AND STRUCTURE SETBACK
- LIMITS OF THE TOWN OF EAST HAMPTON 150-FOOT FRESHWATER WETLAND REGULATED AREA (TYP.)
- BUILDING SETBACK LINE

ZONING TABLE: EAST HAMPTON ZONING DISTRICT RESIDENTIAL A5

ITEM:	REQUIRED	EXISTING	PROPOSED
MAX. HEIGHT (FT)	25	18±	110
MIN. LOT AREA (SF)	200,000	303,962±	NC
MIN. LOT WIDTH (FT)	250	480±	NC
MIN. FRONT YARD ACCESSORY SETBACK (FT)	70	63± *	384±
MIN. SIDE YARD ACCESSORY SETBACK (FT)	40	118±	84±/398±
MIN. REAR YARD ACCESSORY SETBACK (FT)	40	326±	139±
MAX. BUILDING COVERAGE	7%	0.9%	NC
MAX. TOTAL LOT COVERAGE	25%/80,000SF	25.5% *	27.9% (85,000± SF)

NA = NOT APPLICABLE
* EXISTING DIMENSIONAL NON-CONFORMITY
NC = NO CHANGE

verizon
4 CENTEROCK ROAD
WEST NYACK, NY 10994

APT ENGINEERING
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EAST HAMPTON, NY 11937

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VERIZON WIRELESS AT "WAINSCOTT 3"

SITE: 106 STEPHEN HANDS PATH
ADDRESS: WAINSCOTT, NY 11937

APT FILING NUMBER: NY141NB3300

PROJECT CODE: 20171584246

LOCATION CODE: 446966

VZ CM: OZ DRAWN BY: ELZ
DATE: 04/15/19 CHECKED BY: RCB

SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
SP-1

1 OVERALL SITE PLAN
SP-1 SCALE: 1" = 100'-0"

(IN FEET) 1 inch = 100 ft.

SUBJECT SITE
PARCEL
0300-193-00-02-00-04.000
106 STEPHEN HANDS PATH
N/F
TOWN OF EAST HAMPTON
159 PANTIGO ROAD
EAST HAMPTON, NY 11937
303,962± S.F.
6.98± ACRES

LEGEND

- SUBJECT PARCEL PROPERTY LINE
- - - ADJACENT PROPERTY LINE/R.O.W. LINE
- L0D- LIMITS OF DISTURBANCE
- SF- SILT FENCE
- E/T- UNDERGROUND ELECTRIC & TELCO
- OH- OVERHEAD UTILITIES

verizon
4 CENTEROCK ROAD
WEST NYACK, NY 10994

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VERIZON WIRELESS AT "WAINSCOTT 3"

SITE 106 STEPHEN HANDS PATH
ADDRESS: WAINSCOTT, NY 11937

APT FILING NUMBER: NY141NB3300

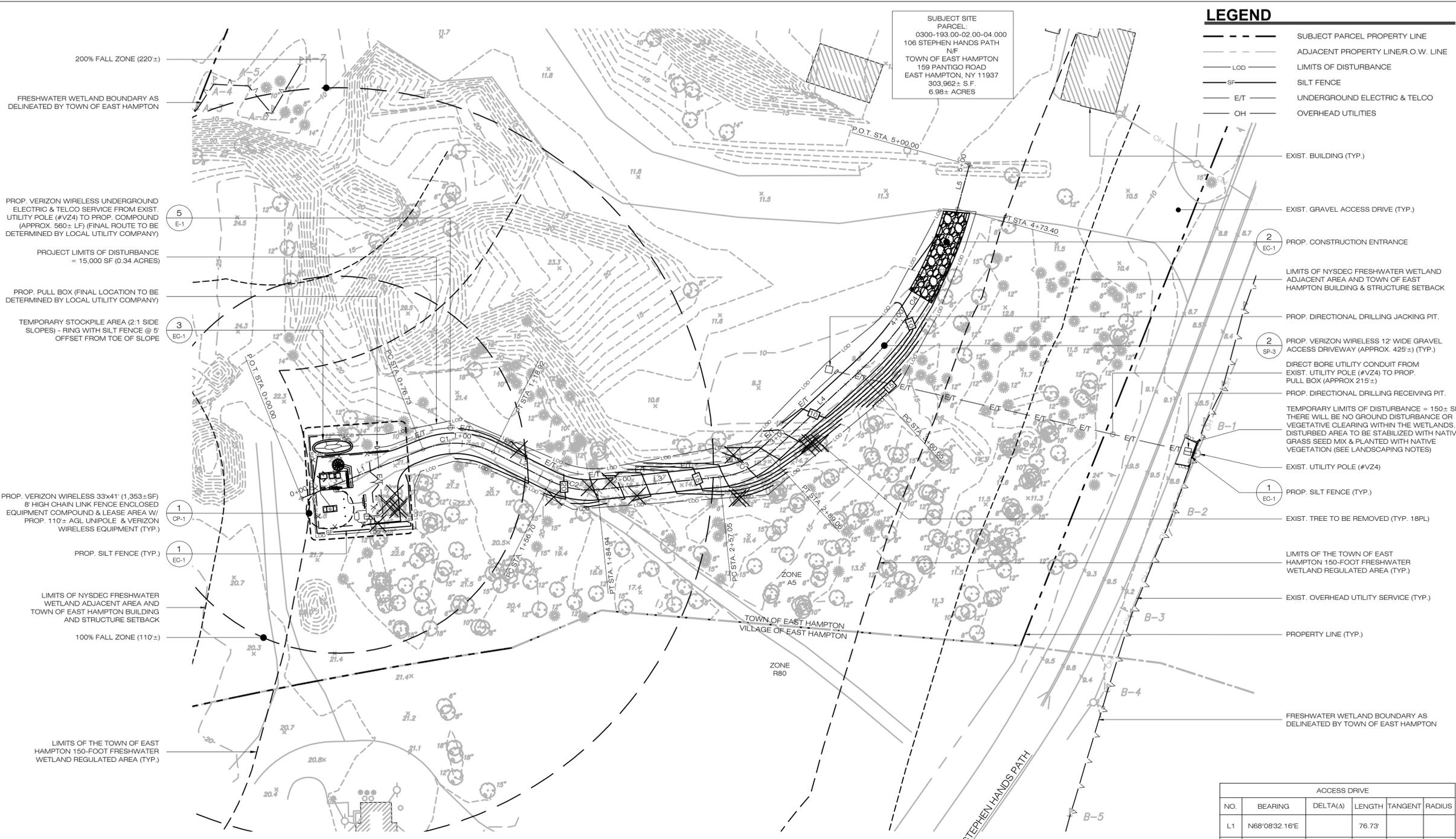
PROJECT CODE: 20171584246

LOCATION CODE: 446966

VZ CM: OZ **DRAWN BY:** ELZ
DATE: 04/15/19 **CHECKED BY:** RCB

SHEET TITLE:
PARTIAL SITE PLAN

SHEET NUMBER:
SP-2



- 200% FALL ZONE (220'±)
- FRESHWATER WETLAND BOUNDARY AS DELINEATED BY TOWN OF EAST HAMPTON
- PROP. VERIZON WIRELESS UNDERGROUND ELECTRIC & TELCO SERVICE FROM EXIST. UTILITY POLE (#VZ4) TO PROP. COMPOUND (APPROX. 560± LF) (FINAL ROUTE TO BE DETERMINED BY LOCAL UTILITY COMPANY)
- PROJECT LIMITS OF DISTURBANCE = 15,000 SF (0.34 ACRES)
- PROP. PULL BOX (FINAL LOCATION TO BE DETERMINED BY LOCAL UTILITY COMPANY)
- TEMPORARY STOCKPILE AREA (2.1 SIDE SLOPES) - RING WITH SILT FENCE @ 5' OFFSET FROM TOE OF SLOPE
- PROP. VERIZON WIRELESS 33'x41' (1,353±SF) 8' HIGH CHAIN LINK FENCE ENCLOSED EQUIPMENT COMPOUND & LEASE AREA W/ PROP. 110± AGL UNIPOLE & VERIZON WIRELESS EQUIPMENT (TYP.)
- PROP. SILT FENCE (TYP.)
- LIMITS OF NYSDEC FRESHWATER WETLAND ADJACENT AREA AND TOWN OF EAST HAMPTON BUILDING AND STRUCTURE SETBACK
- 100% FALL ZONE (110'±)
- LIMITS OF THE TOWN OF EAST HAMPTON 150-FOOT FRESHWATER WETLAND REGULATED AREA (TYP.)

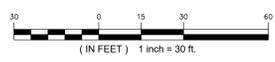
- EXIST. BUILDING (TYP.)
- EXIST. GRAVEL ACCESS DRIVE (TYP.)
- PROP. CONSTRUCTION ENTRANCE
- LIMITS OF NYSDEC FRESHWATER WETLAND ADJACENT AREA AND TOWN OF EAST HAMPTON BUILDING & STRUCTURE SETBACK
- PROP. DIRECTIONAL DRILLING JACKING PIT.
- PROP. VERIZON WIRELESS 12' WIDE GRAVEL ACCESS DRIVEWAY (APPROX. 425±) (TYP.)
- DIRECT BORE UTILITY CONDUIT FROM EXIST. UTILITY POLE (#VZ4) TO PROP. PULL BOX (APPROX 215±)
- PROP. DIRECTIONAL DRILLING RECEIVING PIT.
- TEMPORARY LIMITS OF DISTURBANCE = 150± SF. THERE WILL BE NO GROUND DISTURBANCE OR VEGETATIVE CLEARING WITHIN THE WETLANDS. DISTURBED AREA TO BE STABILIZED WITH NATIVE GRASS SEED MIX & PLANTED WITH NATIVE VEGETATION (SEE LANDSCAPING NOTES)
- EXIST. UTILITY POLE (#VZ4)
- PROP. SILT FENCE (TYP.)
- EXIST. TREE TO BE REMOVED (TYP. 18PL)
- LIMITS OF THE TOWN OF EAST HAMPTON 150-FOOT FRESHWATER WETLAND REGULATED AREA (TYP.)
- EXIST. OVERHEAD UTILITY SERVICE (TYP.)
- PROPERTY LINE (TYP.)
- FRESHWATER WETLAND BOUNDARY AS DELINEATED BY TOWN OF EAST HAMPTON

ACCESS DRIVE					
NO.	BEARING	DELTA(A)	LENGTH	TANGENT	RADIUS
L1	N68°08'32.16"E		76.73'		
C1		48°20'53"	42.19'	22.44'	50.0'
L2	S63°30'34.81"E		37.78'		
C2		32°22'03"	28.25'	14.51'	50.0'
L3	N84°07'22.68"E		72.11'		
C3		36°40'54"	32.01'	16.58'	50.0'
L4	N47°26'28.66"E		71.59'		
C4		32°18'03"	112.75'	57.92'	200.0'
L5	N15°08'25.45"E		26.60'		

LANDSCAPING NOTE:
FOLLOWING THE COMPLETION OF WORK, DISTURBED PORTIONS OF THE DRILLING PIT FOOTPRINT WITHIN THE NYSDEC AND TOWN OF EAST HAMPTON REGULATED WETLAND ADJACENT AREAS WILL BE BACKFILLED WITH CLEAN FILL, STABILIZED WITH NATIVE GRASS SEED MIX AND REVEGETATED WITH NATIVE SPECIES FROM THE FOLLOWING LIST:

SHRUBS (TO BE SPACED 3 FEET APART)
LOWBUSH BLUEBERRY (VACCINIUM ANGSTIFOLIUM)
BLACK HUCKLEBERRY (GAYLUSSACIA BACCATA)
NORTHERN BAYBERRY (MYRICA PENSYLVANICA)
AMERICAN HOLLY (ILEX OPACA)

1 PARTIAL SITE PLAN
SP-2 SCALE: 1" = 30'-0"



verizon

4 CENTEROCK ROAD
WEST NYACK, NY 10994



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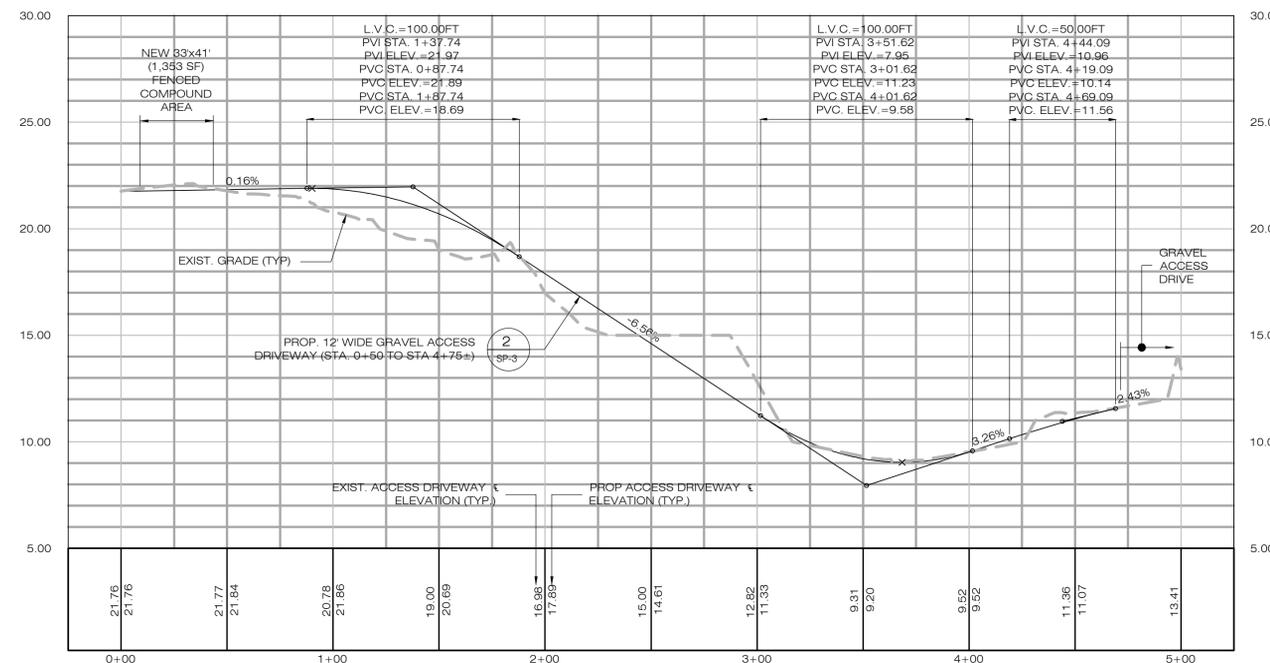
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SHEET TITLE:

ACCESS DRIVE PROFILE & DETAILS

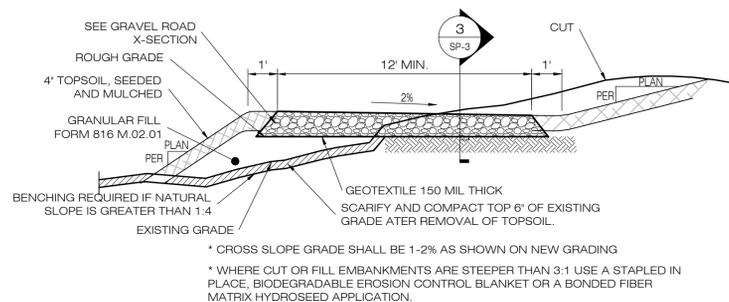
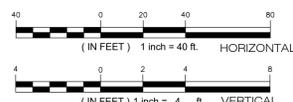
SHEET NUMBER:

SP-3



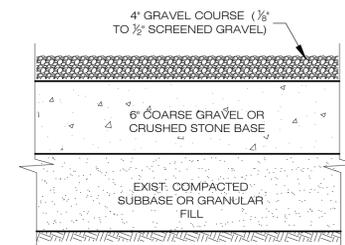
1 ACCESS DRIVEWAY PROFILE

SCALE: HORIZONTAL: 1" = 40'-0"
VERTICAL: 1" = 4'-0"



2 TYPICAL ROAD CROSS SECTION

SCALE: N.T.S.



- NOTES:**
- SUBBASE MAY CONSIST OF NATIVE MATERIALS IF FOUND ACCEPTABLE BY THE ENGINEER. SUBBASE TO BE COMPACTED TO 95% MAX DRY DENSITY.
 - SUBBASE IS TO BE FREE FROM DEBRIS AND UNSUITABLE MATERIALS.

3 GRAVEL DRIVEWAY/PARKING SECTION

SCALE: N.T.S.

EROSION CONTROL NOTES

EROSION AND SEDIMENT CONTROL PLAN NOTES

- THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (BLUE BOOK), LATEST EDITION, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL KEEP A COPY OF THE CURRENT GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION. ALL SEDIMENTATION AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF TEMPORARY SEDIMENTATION TRAP/BASINS, TEMPORARY DIVERSION SWALES AND ANTI-TRACKING PADS, SHALL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
- THESE DRAWINGS ARE ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL MEASURES FOR THIS SITE. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE EROSION & SEDIMENT CONTROL PLAN ARE SHOWN IN A GENERAL SIZE AND LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL EROSION CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO STORM DRAINAGE SYSTEMS AND/OR WATERCOURSES. ACTUAL SITE CONDITIONS OR SEASONAL AND CLIMATIC CONDITIONS MAY WARRANT ADDITIONAL CONTROLS OR CONFIGURATIONS WHEN DIRECTED BY THE ENGINEER. SEE SEDIMENT AND EROSION CONTROL DETAILS AND SUGGESTED CONSTRUCTION SEQUENCE FOR MORE INFORMATION. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER CONTRACT PLANS FOR APPROPRIATE INFORMATION.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE GOVERNING AUTHORITY OR INLAND WETLANDS AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- A BOND MAY BE REQUIRED TO BE POSTED WITH THE GOVERNING AUTHORITY FOR THE EROSION CONTROL INSTALLATION AND MAINTENANCE.
- THE CONTRACTOR SHALL APPLY THE MINIMUM EROSION & SEDIMENT CONTROL MEASURES SHOWN ON THE PLAN IN CONJUNCTION WITH CONSTRUCTION SEQUENCING, SUCH THAT ALL ACTIVE WORK ZONES ARE PROTECTED. ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, MUNICIPAL OFFICIALS, OR ANY GOVERNING AGENCY. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CONSTRUCTION SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENTATION AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS WEEKLY AND WITHIN 24 HOURS OF A STORM WITH A RAINFALL AMOUNT OF 0.2 INCHES OR GREATER TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS WHERE NECESSARY.
- THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (HAY BALES, SILT FENCE, JUTE MESH, ETC.) ON-SITE FOR PERIODIC MAINTENANCE AND EMERGENCY REPAIRS.
- ALL FILL MATERIAL PLACED ADJACENT TO ANY WETLAND AREA SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN MAXIMUM ONE FOOT LIFTS, AND SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN THE CONTRACT SPECIFICATIONS.
- PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING AT THE DRIP LINE, OR AS DETAILED, WITH SNOW FENCE, ORANGE SAFETY FENCE, OR EQUIVALENT FENCING. ANY LIMB TRIMMING SHOULD BE DONE AFTER CONSULTATION WITH AN ARBORIST AND BEFORE CONSTRUCTION BEGINS IN THAT AREA; FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.
- ANTI-TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR CONSTRUCTION ACTIVITY AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF ALL CONSTRUCTION. THE LOCATION OF THE TRACKING PADS MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED.
- ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, HAY BALES, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SEDIMENT BARRIER UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE BARRIER. STAKED HAY BALES OR SILT FENCES SHALL ALSO BE INSTALLED AT THE DOWNHILL SIDES OF BUILDING EXCAVATIONS, DEWATERING PUMP DISCHARGES, AND MATERIAL STOCKPILES.
- WASHOUT OF APPLICATORS, CONTAINERS, VEHICLES AND EQUIPMENT FOR CONCRETE SHALL BE CONDUCTED IN A DESIGNATED WASHOUT AREA. NO SURFACE DISCHARGE OF WASHOUT WASTEWATERS FROM THE AREA WILL BE ALLOWED. ALL CONCRETE WASHWATER WILL BE DIRECTED INTO A CONTAINER OR PIT SUCH THAT NO OVERFLOWS CAN OCCUR. WASHOUT SHALL BE CONDUCTED IN AN ENTIRELY SELF-CONTAINED SYSTEM AND WILL BE CLEARLY DESIGNED AND FLAGGED OR SIGNED WHERE NECESSARY. THE WASHOUT AREA SHALL BE LOCATED OUTSIDE OF ANY BUFFERS AND AT LEAST 50 FEET FROM ANY STREAM, WETLAND OR OTHER SENSITIVE WATER OR NATURAL RESOURCES AS DETERMINED OR DESIGNATED BY THE ENGINEER.
- INSTALL TEMPORARY DIVERSION DITCHES, PLUNGE POOLS, TEMPORARY SEDIMENT TRAPS/BASINS, AND DEWATERING PITS AS SHOWN AND AS NECESSARY DURING VARIOUS PHASES OF CONSTRUCTION TO CONTROL RUNOFF UNTIL UPHILL AREAS ARE STABILIZED. LOCATION OF TEMPORARY SEDIMENT TRAPS/BASINS WILL REQUIRE REVIEW AND APPROVAL BY THE ENGINEER AND GOVERNING OFFICIAL. DEWATERING SETTLING TRAPS SHALL BE USED IF GROUND WATER IS ENCOUNTERED. NO RUNOFF SHALL BE ALLOWED TO EXIT THE SITE PRIOR TO TREATMENT FOR SEDIMENT REMOVAL.
- AS GENERAL GRADING OPERATIONS PROGRESS, THE TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED AND RELOCATED, AS CUT AND FILL SLOPES DICTATE, TO DIVERT SURFACE RUNOFF TO THE SEDIMENT TRAPS/BASINS.
- TEMPORARY SEDIMENT TRAPS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER DISTURBED ACRE CONTRIBUTING TO THE TRAP/BASIN. PROVIDE TRAP/BASIN VOLUMES FOR ALL DISTURBANCE ON SITE.
- PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN SEDIMENT TRAPS/BASINS DURING CONSTRUCTION AND CLEAN ACCUMULATED SILT WHEN NECESSARY OR WHEN ONE FOOT OF SEDIMENT HAS ACCUMULATED. CLEAN ACCUMULATED SEDIMENT FROM CATCH BASIN SUMPS AS NECESSARY. REMOVE ACCUMULATED SEDIMENT FROM BEHIND HAY BALES AND SILT FENCE. EXCAVATED MATERIAL FROM TEMPORARY SEDIMENT TRAPS/BASINS MUST BE STOCKPILED ON UPHILL SIDE OF SILT FENCE.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE HAY BALES OR SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEEDED IF PILE IS TO REMAIN IN PLACE AND UNDISTURBED FOR MORE THAN 30 DAYS.
- NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDED, AND THE ROAD SHOULDER AND BANKS WILL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
- DIRECT ALL DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY SEDIMENT TRAPS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM DRAINS OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR AND APPROVED BY THE ENGINEER.
- BLOCK THE OPEN UPSTREAM ENDS OF DETENTION BASIN/SEDIMENT TRAP OUTLET CONTROL ORIFICES UNTIL SITE IS STABILIZED AND BLOCK END OF STORM DRAINS IN EXPOSED TRENCHES WITH BOARDS AND SANDBAGS AT THE END OF EACH WORKING DAY WHEN RAIN IS EXPECTED.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS ON THE SITE. PROPER SANITARY DEVICES SHALL BE MAINTAINED ON-SITE AT ALL TIMES. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID THE SPILLAGE OF FUEL OR OTHER POLLUTANTS ON THE CONSTRUCTION SITE AND SHALL ADHERE TO ALL APPLICABLE POLICIES AND REGULATIONS RELATED TO SPILL PREVENTION AND RESPONSE/CONTAINMENT.
- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDED WITH TACKIFIER.
- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. FOR DUST CONTROL, PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAYS DAMP. CALCIUM CHLORIDE MAY ALSO BE APPLIED TO ACCESS ROADS. DUMP TRUCK LOADS EXITING THE SITE SHALL BE COVERED.
- TURF ESTABLISHMENT SHALL BE PERFORMED OVER ALL DISTURBED SOIL. UNLESS THE AREA IS UNDER ACTIVE CONSTRUCTION, IT IS COVERED IN STONE OR SCHEDULED FOR PAVING WITHIN 30 DAYS. TEMPORARY SEEDING OR NON-LIVING SOIL PROTECTION OF ALL EXPOSED SOILS AND SLOPES SHALL BE INITIATED WITHIN THE FIRST 7 DAYS OF SUSPENDING WORK IN AREAS TO BE LEFT LONGER THAN 30 DAYS.
- IF CONSTRUCTION ACTIVITIES ARE COMPLETE OR HAVE BEEN TEMPORARILY HALTED FOR 7 DAYS, STABILIZATION ACTIVITIES WILL BE IMPLEMENTED WITHIN 3 DAYS.
- TWO WEEKS BEFORE THE FALL SEEDING SEASON BEGINS (AUGUST 15 TO OCTOBER 15), THE CONTRACTOR SHALL STABILIZE THE SITE FOR WINTER MONTHS. MEASURES SUCH AS MULCHING AND/OR SEEDING MAY BE REQUIRED.
- MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK REMOVE ALL TEMPORARY SEDIMENT CONTROL DEVICES ONCE THE SITE IS FULLY STABILIZED AND APPROVAL HAS BEEN RECEIVED FROM TOWN OF EAST HAMPTON AND/OR ENGINEER.
- SEEDING MIXTURES
 - HYBID PERMANENT CONSTRUCTION AREA PLANTING MIXTURE #1 FROM THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (BLUE BOOK), LATEST EDITION.

SEDIMENT & EROSION CONTROL NARRATIVE

- THE PROJECT INCLUDES THE INSTALLATION OF A 110± AGL UNIPOLE WITH ASSOCIATED GROUND MOUNTED EQUIPMENT. ALL DISTURBED AREAS ARE TO BE SEEDED AND STABILIZED PRIOR TO THE INSTALLATION OF THE PROPOSED EQUIPMENT.

THE PROPOSED PROJECT INVOLVES THE FOLLOWING CONSTRUCTION:

 - CONSTRUCTION OF 110± AGL UNIPOLE TOWER
 - CONSTRUCTION OF 33±x44± (1,353± SF) FENCED EQUIPMENT COMPOUND W/ GRAVEL SURFACE TREATMENT AND ASSOCIATED UTILITIES.
 - CONSTRUCTION OF 10x17 (170± SF) CONCRETE EQUIPMENT PAD.
 - THE STABILIZATION OF PERVIOUS DISTURBED AREAS WITH PERMANENT GRASS TREATMENTS.
- FOR THIS PROJECT, THERE ARE APPROXIMATELY 15,000± SF (0.34± AC) OF THE SITE BEING DISTURBED.
- IT IS ANTICIPATED THAT CONSTRUCTION WILL BE COMPLETED IN APPROXIMATELY 12 WEEKS.
- REFER TO THE CONSTRUCTION SEQUENCING AND EROSION AND SEDIMENTATION NOTES FOR INFORMATION REGARDING SEQUENCING OF MAJOR OPERATIONS IN THE ON-SITE CONSTRUCTION PHASES.
- EROSION AND SEDIMENTATION MEASURES ARE BASED UPON ENGINEERING PRACTICE, JUDGEMENT AND THE APPLICABLE SECTIONS OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (BLUE BOOK), LATEST EDITION.
- DETAILS FOR THE TYPICAL EROSION AND SEDIMENTATION MEASURES ARE SHOWN ON THIS SHEET.
- CONSERVATION PRACTICES TO BE USED DURING CONSTRUCTION AREA:
 - STAGED CONSTRUCTION.
 - MINIMIZE THE DISTURBED AREAS DURING CONSTRUCTION;
 - STABILIZE DISTURBED AREAS AS SOON AS POSSIBLE WITH TEMPORARY OR PERMANENT MEASURES;
 - MINIMIZE IMPERVIOUS AREAS;
 - UTILIZE APPROPRIATE CONSTRUCTION EROSION AND SEDIMENTATION MEASURES.

SUGGESTED CONSTRUCTION SEQUENCE

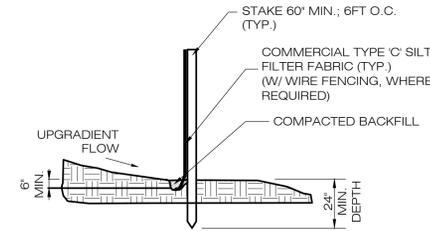
THE FOLLOWING SUGGESTED SEQUENCE OF CONSTRUCTION ACTIVITIES IS PROJECTED BASED UPON ENGINEERING JUDGEMENT AND BEST MANAGEMENT PRACTICES. THE CONTRACTOR MAY ELECT TO ALTER THE SEQUENCING TO BEST MEET THE CONSTRUCTION SCHEDULE, THE EXISTING SITE ACTIVITIES AND WEATHER CONDITIONS.

- CONTACT THE OWNER TO SCHEDULE A PRE-CONSTRUCTION MEETING.
- CONDUCT A PRE-CONSTRUCTION MEETING TO DISCUSS THE PROPOSED WORK AND EROSION AND SEDIMENTATION CONTROL MEASURES. THE MEETING SHOULD BE ATTENDED BY THE OWNER, THE OWNER REPRESENTATIVE(S), THE GENERAL CONTRACTOR, DESIGNATED SUB-CONTRACTORS AND THE PERSON, OR PERSONS, RESPONSIBLE FOR THE IMPLEMENTATION, OPERATION, MONITORING AND MAINTENANCE OF THE EROSION AND SEDIMENTATION MEASURES. THE CONSTRUCTION PROCEDURES FOR THE ENTIRE PROJECT SHALL BE REVIEWED AT THIS MEETING.
- NOTIFY THE OWNER AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THIS PROJECT. NOTIFY DIG SAFELY NEW YORK AT (800) 962-7962.
- CLEAR AND GRUB AS REQUIRED, TO INSTALL THE PERIMETER EROSION AND SEDIMENTATION CONTROL MEASURES AND, IF APPLICABLE, TREE PROTECTION.
- INSTALL CONSTRUCTION ENTRANCE.
- PERFORM THE REMAINING CLEARING AND GRUBBING AS NECESSARY. REMOVE CUT WOOD AND STUMPS, CHIP BRUSH AND STOCKPILE FOR FUTURE USE OR REMOVE OFF-SITE. REMOVE AND DISPOSE OF DEMOLITION DEBRIS OFF-SITE.
- TEMPORARILY SEED DISTURBED AREAS NOT UNDER CONSTRUCTION FOR THIRTY (30) DAYS OR MORE.
- INSTALL ELECTRICAL CONDUIT.
- EXCAVATE AND ROUGH GRADE EQUIPMENT COMPOUND.
- EXCAVATE FOR UNIPOLE FOUNDATION & EQUIPMENT PAD.
- PREPARE SUBGRADE AND INSTALL FORMS, STEEL REINFORCING, & CONCRETE FOR UNIPOLE FOUNDATION, EQUIPMENT PADS.
- INSTALL BURIED GROUND RINGS, GROUND RODS, GROUND LEADS, UTILITY CONDUITS, & UTILITY EQUIPMENT.
- INSTALL UNIPOLE FOUNDATION.
- BACKFILL UNIPOLE FOUNDATION.
- INSTALL EQUIPMENT PAD.
- INSTALL UNIPOLE.
- INSTALL EQUIPMENT.
- INSTALL COMPOUND GRAVEL SURFACES.
- FINALIZE GRADES. INSTALL GRAVEL SURFACES.
- INSTALL PERIMETER CHAIN LINK FENCE.
- CONNECT GROUNDING LEADS & LIGHTENING PROTECTION.
- FINE GRADE, RAKE, SEED AND MULCH ALL REMAINING DISTURBED AREAS.
- TEST ALL NEW EQUIPMENT.
- AFTER THE SITE IS STABILIZED AND WITH THE APPROVAL OF THE OWNER, REMOVE PERIMETER EROSION AND SEDIMENTATION CONTROLS.
- PERFORM PROJECT CLEANUP

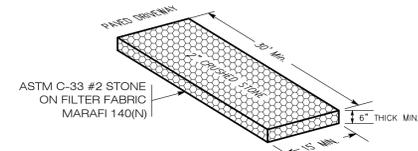
THE ESTIMATED TIME FOR THE COMPLETION OF THE WORK IS APPROXIMATELY TWELVE (12) WEEKS. THE EXACT PROCESS MAY VARY DEPENDING ON THE CONTRACTORS & SUBCONTRACTORS AVAILABILITY TO COMPLETE WORK & WEATHER DELAYS.

CONSTRUCTION OPERATION AND MAINTENANCE PLAN - BY CONTRACTOR

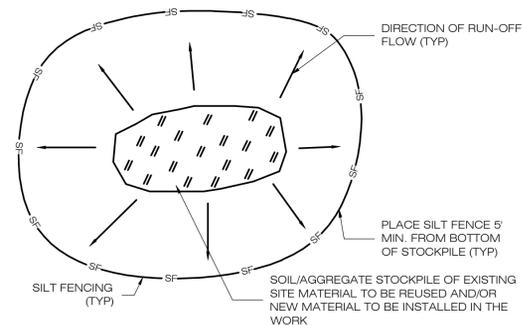
E&S MEASURE	INSPECTION SCHEDULE	MAINTENANCE REQUIRED
SILT FENCE	WEEKLY & WITHIN 24 HOURS OF RAINFALL > 0.2"	REPAIR/REPLACE WHEN FAILURE, OR OBSERVED DETERIORATION, IS OBSERVED. REMOVE SILT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.
TEMPORARY SOIL PROTECTION	WEEKLY & WITHIN 24 HOURS OF RAINFALL > 0.2"	REPAIR ERODED OR BARE AREAS IMMEDIATELY. RESEED AND MULCH.



1
EC-1 **GEOTEXTILE SILT FENCE DETAIL**
SCALE : N.T.S.



2
EC-1 **CONSTRUCTION ENTRANCE (CE) DETAIL**
SCALE : N.T.S.



- NOTES:
- ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
 - SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS.
 - RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
 - STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
 - ANY SOIL IN STOCKPILES IN EXCESS OF SEVEN (7) DAYS SHALL BE SEEDED AND MULCHED OR COVERED.

3
EC-1 **TEMPORARY STOCKPILE DETAIL**
SCALE : N.T.S.

verizon

4 CENTEROCK ROAD
WEST NYACK, NY 10994



567 VALUXHAUL STREET EXTENSION - SUITE 311
WATERFORD, CT 06385 PHONE: (860) 663-1697
WWW.ALLPOINTS TECH.COM FAX: (860) 663-0935

PERMITTING DOCUMENTS

NO	DATE	REVISION
0	04/15/19	FOR REVIEW: RCB
1	05/08/19	ATTORNEY REVISIONS: RCB
2	07/17/19	ATTORNEY REVISIONS: RCB
3	03/06/20	REVISED LAYOUT: RCB
4	03/12/20	ATTORNEY REVISIONS: RCB
5	03/19/20	ATTORNEY REVISIONS: RCB
6	03/30/20	ATTORNEY REVISIONS: RCB
7	06/19/20	TOWN COMMENTS: RCB
8	07/24/20	FOR REVIEW: RCB
9	07/29/20	FOR REVIEW: RCB
10	07/31/20	ATTORNEY REVISIONS: RCB

DESIGN PROFESSIONALS OF RECORD

PROF. SCOTT M. CHASSE P.E.
COMP: APT ENGINEERING
ADD: 567 VALUXHAUL STREET
EXTENSION - SUITE311
WATERFORD, CT 06385

OWNER: TOWN OF EAST HAMPTON
ADDRESS: 159 PANTIGO ROAD
EAST HAMPTON, NY 11937

NOTE:
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VERIZON WIRELESS AT "WAINSCOTT 3"

SITE: 106 STEPHEN HANDS PATH
ADDRESS: WAINSCOTT, NY 11937

APT FILING NUMBER: NY141NB3300

PROJECT CODE: 20171584246

LOCATION CODE: 446966

VZ CM:	OZ	DRAWN BY:	ELZ
DATE:	04/15/19	CHECKED BY:	RCB

SHEET TITLE: EROSION CONTROL NOTES & DETAILS

SHEET NUMBER:

EC-1



verizon

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WEST NYACK, NY 10994



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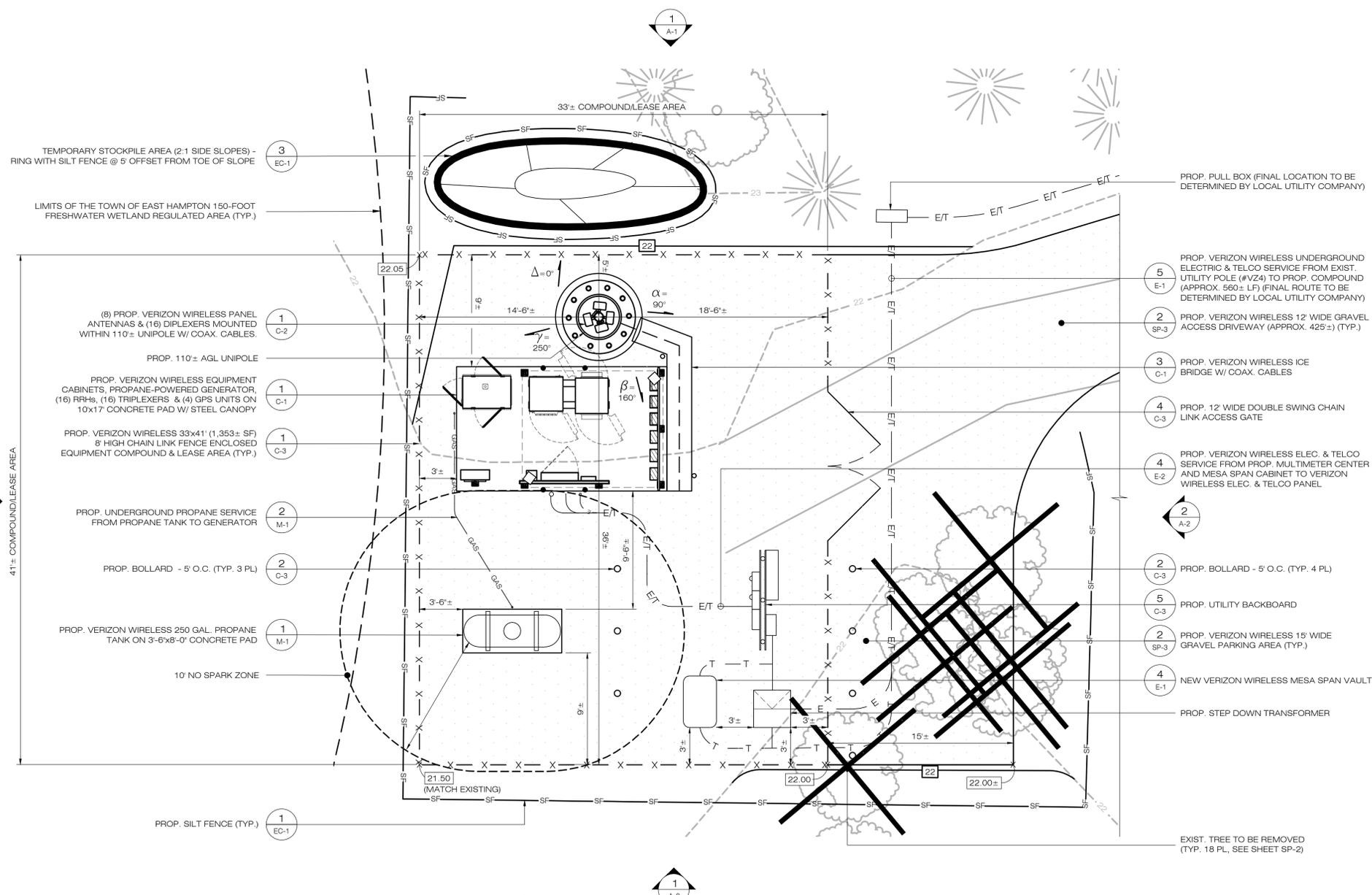
VZ CM: OZ DRAWN BY: ELZ

DATE: 04/15/19 CHECKED BY: RCB

SHEET TITLE:
COMPOUND PLAN

SHEET NUMBER:

CP-1



TEMPORARY STOCKPILE AREA (2:1 SIDE SLOPES) - RING WITH SILT FENCE @ 5' OFFSET FROM TOE OF SLOPE

LIMITS OF THE TOWN OF EAST HAMPTON 150-FOOT FRESHWATER WETLAND REGULATED AREA (TYP.)

(8) PROP. VERIZON WIRELESS PANEL ANTENNAS & (16) DIPLEXERS MOUNTED WITHIN 110'± UNIPOLE W/ COAX. CABLES.

PROP. 110'± AGL UNIPOLE

PROP. VERIZON WIRELESS EQUIPMENT CABINETS, PROPANE-POWERED GENERATOR, (16) FRHS, (16) TRIPLEXERS & (4) GPS UNITS ON 10'x17' CONCRETE PAD W/ STEEL CANOPY.

PROP. VERIZON WIRELESS 33x41' (1,353± SF) 8' HIGH CHAIN LINK FENCE ENCLOSED EQUIPMENT COMPOUND & LEASE AREA (TYP.)

PROP. UNDERGROUND PROPANE SERVICE FROM PROPANE TANK TO GENERATOR

PROP. BOLLARD - 5' O.C. (TYP. 3 PL)

PROP. VERIZON WIRELESS 250 GAL. PROPANE TANK ON 3'-6"x8'-0" CONCRETE PAD

10' NO SPARK ZONE

PROP. SILT FENCE (TYP.)

PROP. PULL BOX (FINAL LOCATION TO BE DETERMINED BY LOCAL UTILITY COMPANY)

PROP. VERIZON WIRELESS UNDERGROUND ELECTRIC & TELCO SERVICE FROM EXIST. UTILITY POLE (#VZ4) TO PROP. COMPOUND (APPROX. 560± LF) (FINAL ROUTE TO BE DETERMINED BY LOCAL UTILITY COMPANY)

PROP. VERIZON WIRELESS 12' WIDE GRAVEL ACCESS DRIVEWAY (APPROX. 425±) (TYP.)

PROP. VERIZON WIRELESS ICE BRIDGE W/ COAX. CABLES

PROP. 12' WIDE DOUBLE SWING CHAIN LINK ACCESS GATE

PROP. VERIZON WIRELESS ELEC. & TELCO SERVICE FROM PROP. MULTIMETER CENTER AND MESA SPAN CABINET TO VERIZON WIRELESS ELEC. & TELCO PANEL

PROP. BOLLARD - 5' O.C. (TYP. 4 PL)

PROP. UTILITY BACKBOARD

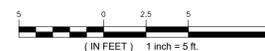
PROP. VERIZON WIRELESS 15' WIDE GRAVEL PARKING AREA (TYP.)

NEW VERIZON WIRELESS MESA SPAN VAULT

PROP. STEP DOWN TRANSFORMER

EXIST. TREE TO BE REMOVED (TYP. 18 PL, SEE SHEET SP-2)

1 COMPOUND PLAN
CP-1 SCALE: 1" = 5'-0"



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DESIGN PROFESSIONALS OF RECORD

PROF. SCOTT M. CHASSE, P.E.
COMP: APT ENGINEERING
ADD: 567 VALUXHAUL STREET
EXTENSION - SUITE 311
WATERFORD, CT 06385

OWNER: TOWN OF EAST HAMPTON
ADDRESS: 159 PANTIGO ROAD
EAST HAMPTON, NY 11937

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VERIZON WIRELESS AT "WAINSCOTT 3"

SITE: 106 STEPHEN HANDS PATH
ADDRESS: WAINSCOTT, NY 11937

APT FILING NUMBER: NY141NB3300

PROJECT CODE: 20171584246

LOCATION CODE: 446966

VZ CM: OZ DRAWN BY: ELZ

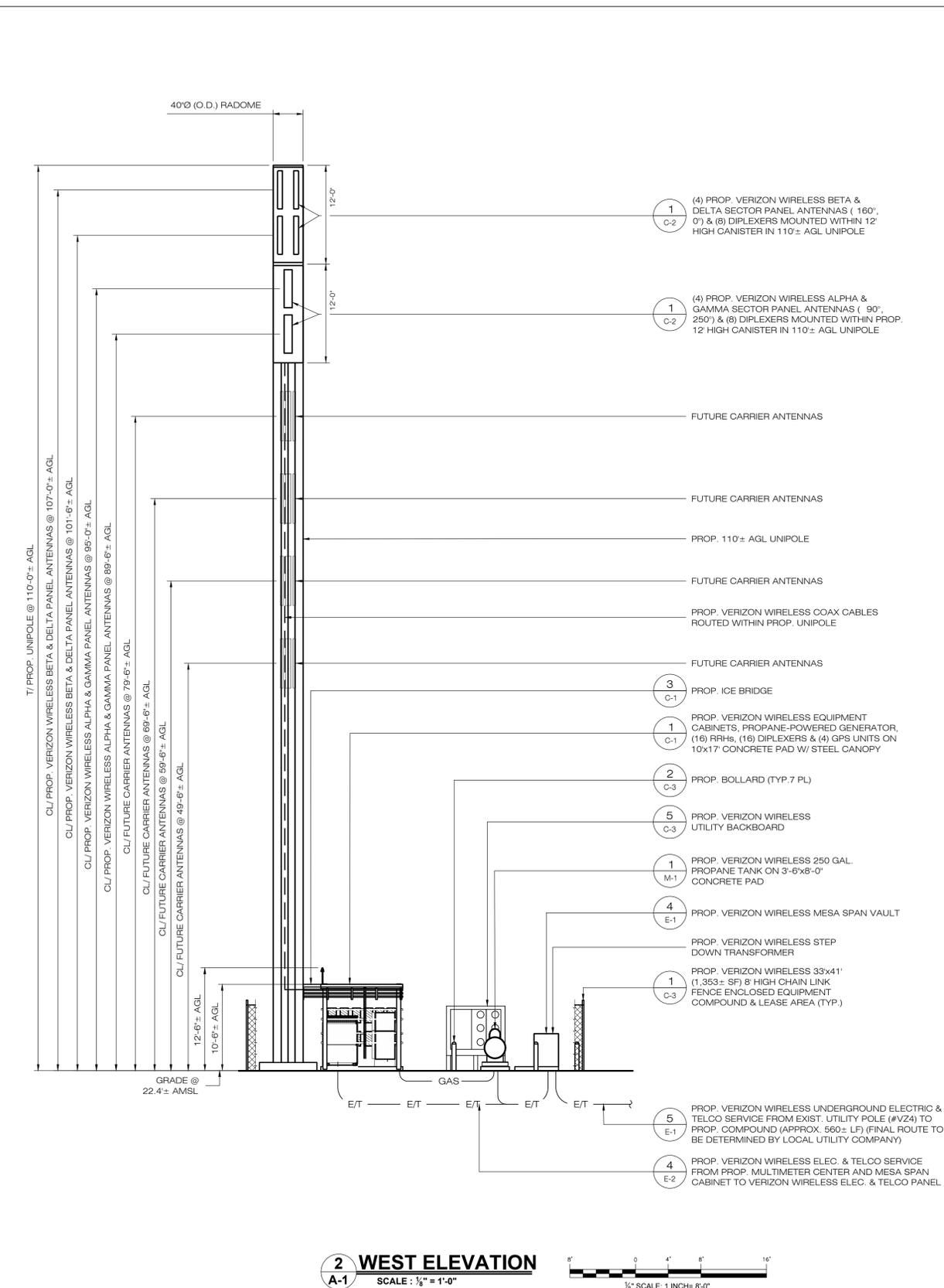
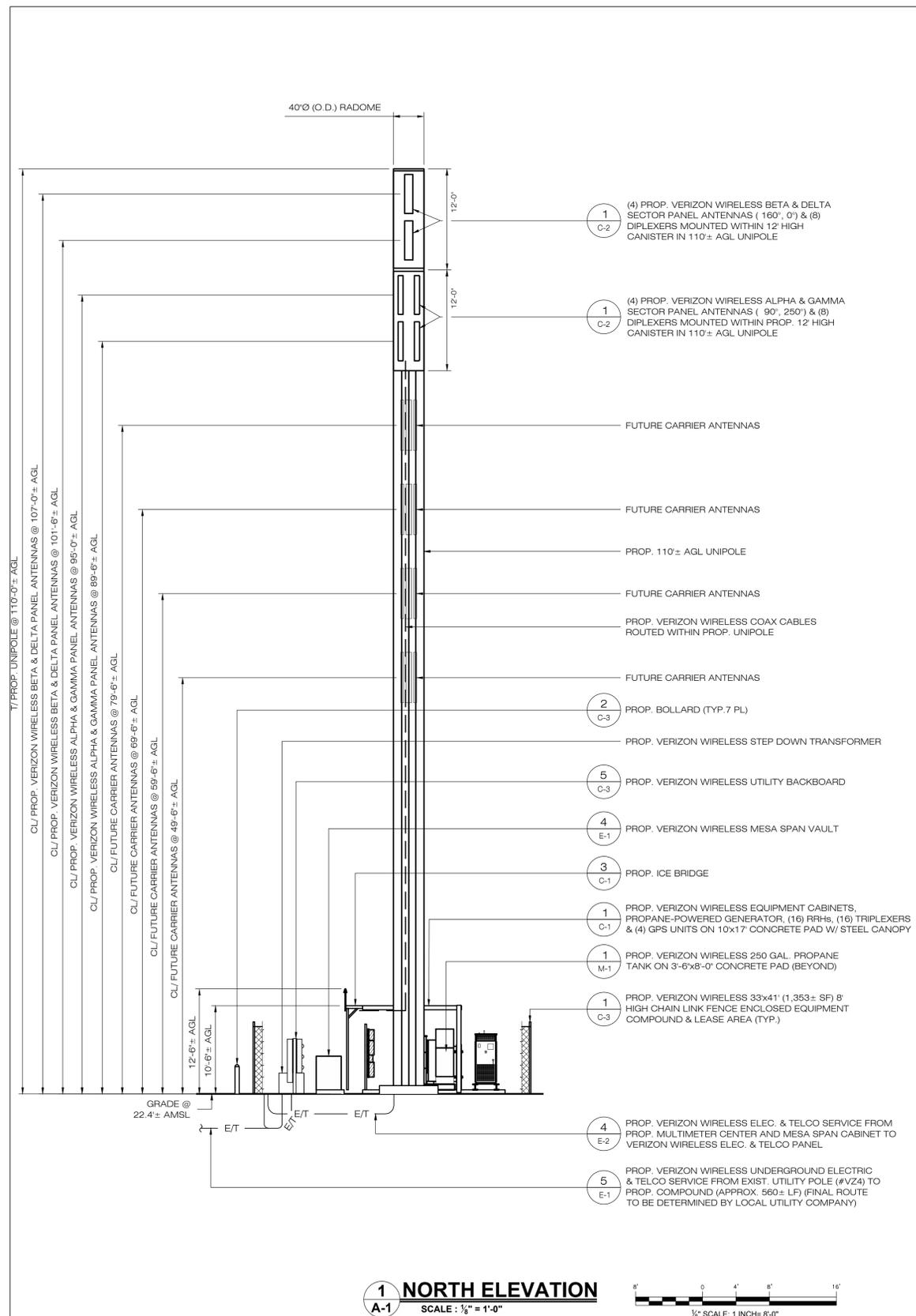
DATE: 04/15/19 CHECKED BY: RCB

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A-1



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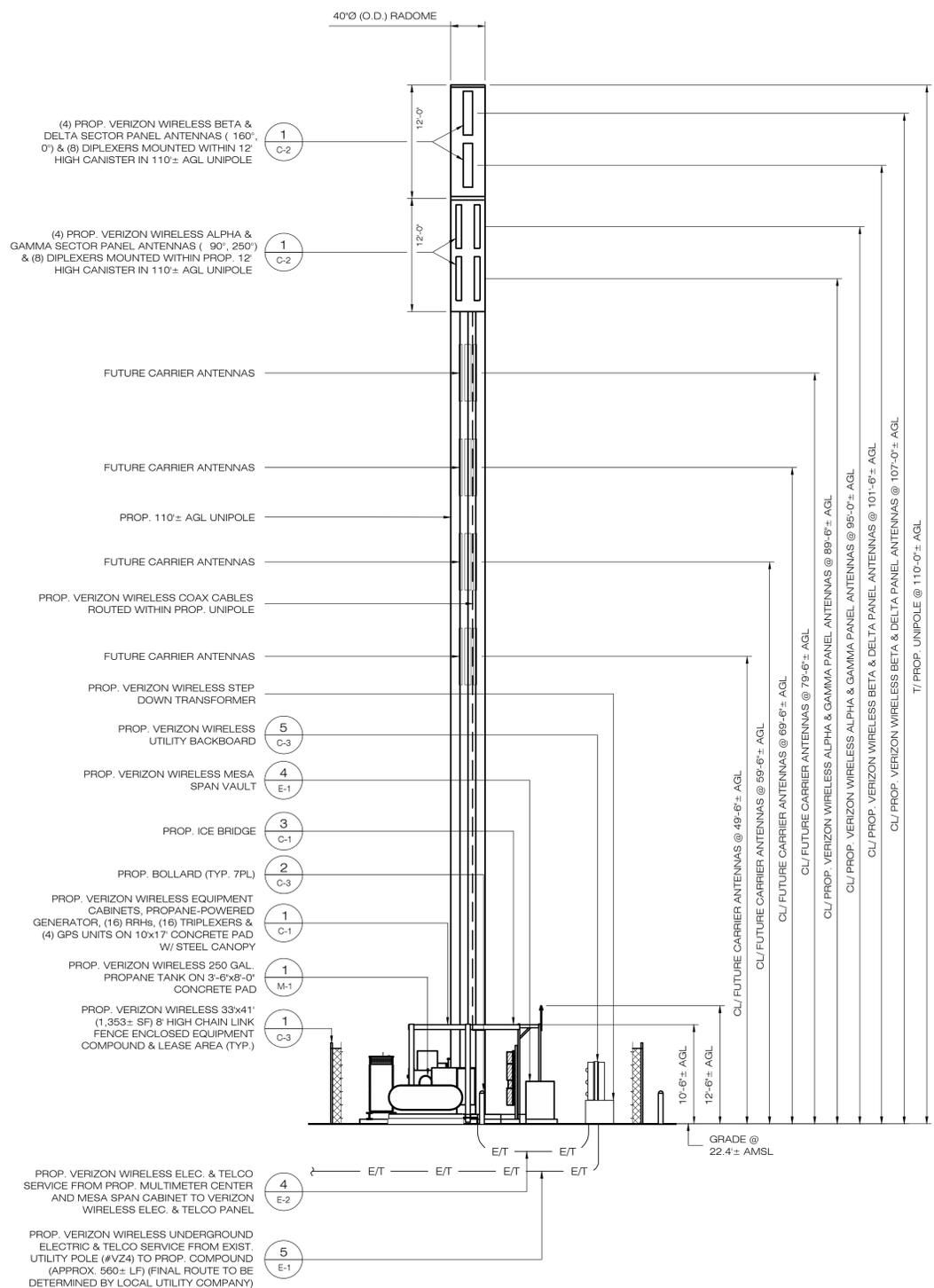
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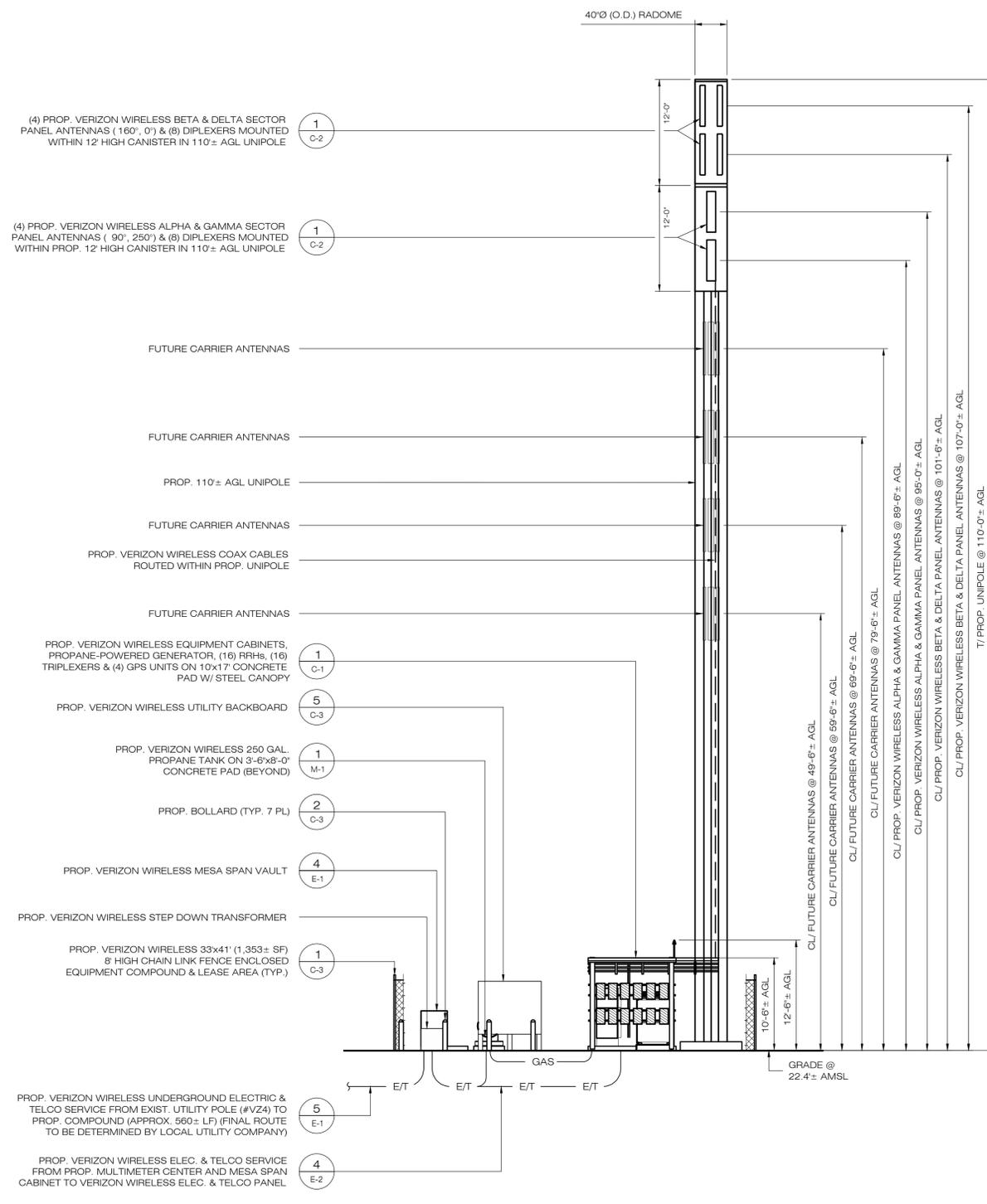
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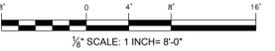
A-2



1 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



verizon
 4 CENTEROCK ROAD
 WEST NYACK, NY 10994



567 VAUXHAUL STREET EXTENSION - SUITE 311
 WATERFORD, CT 06385 PHONE: (860) 663-1697
 WWW.ALLPOINTS2TECH.COM FAX: (860) 663-0935

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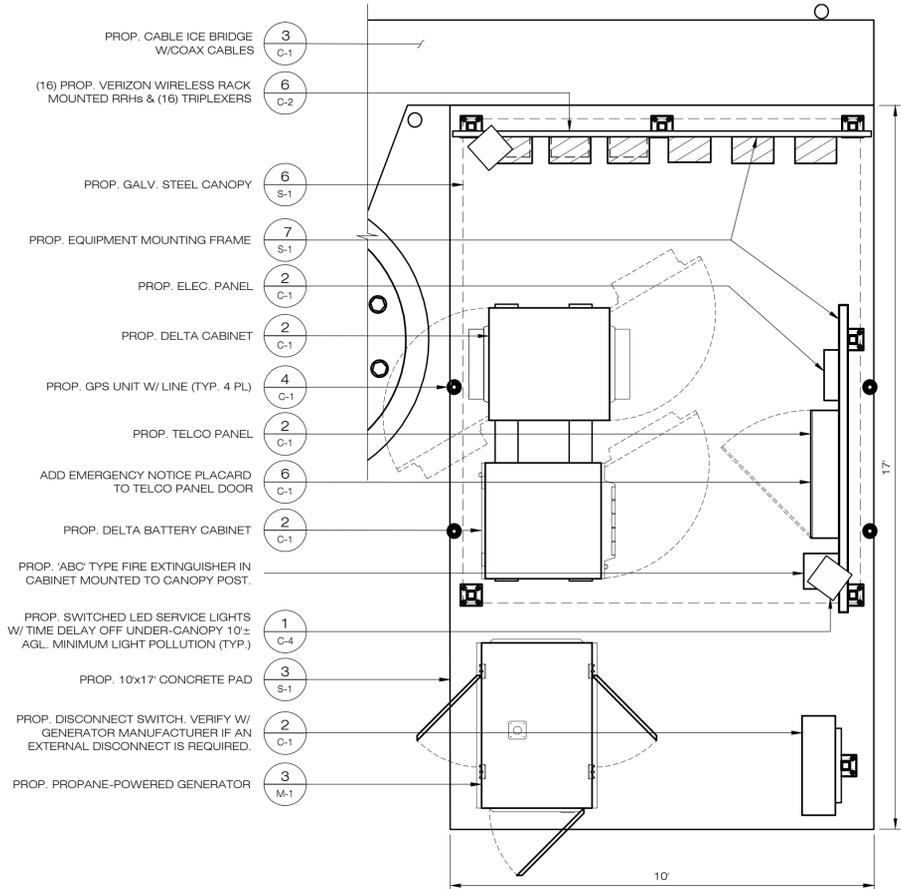
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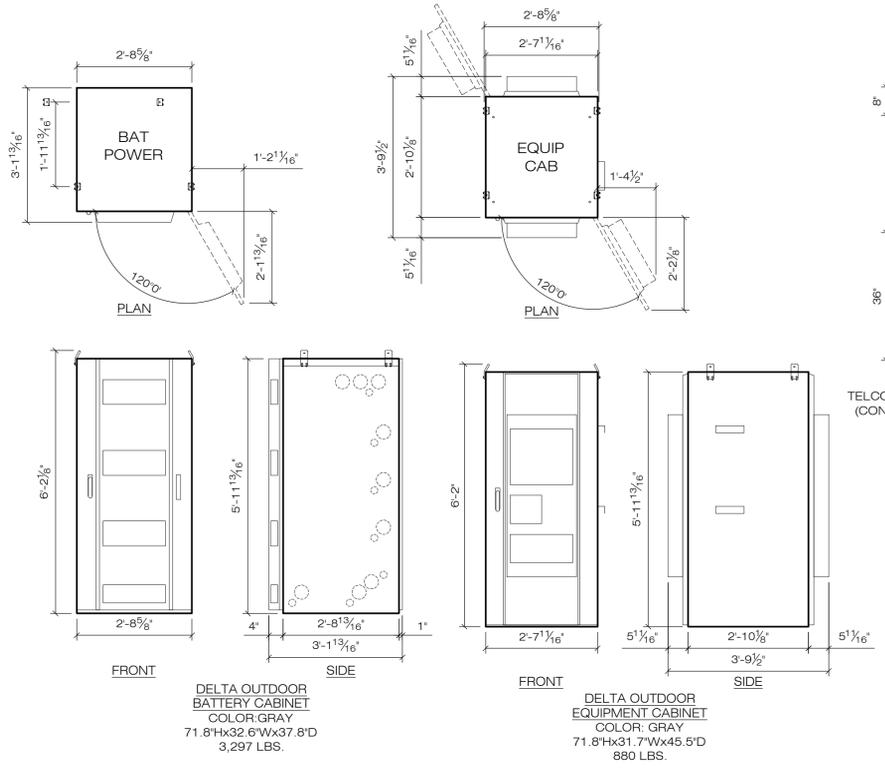
SHEET TITLE:
EQUIPMENT SPACE PLAN & DETAILS

SHEET NUMBER: C-1



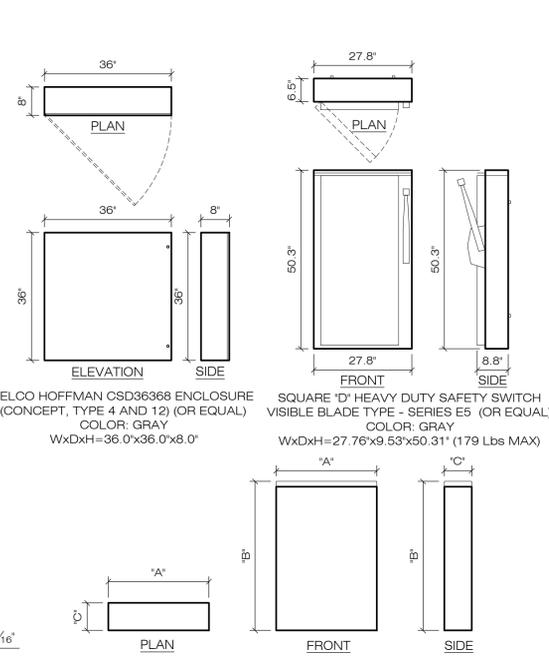
- 3 C-1 PROP. CABLE ICE BRIDGE W/COAX CABLES
- 6 C-2 (16) PROP. VERIZON WIRELESS RACK MOUNTED RRHs & (16) TRIPLEXERS
- 6 S-1 PROP. GALV. STEEL CANOPY
- 7 S-1 PROP. EQUIPMENT MOUNTING FRAME
- 2 C-1 PROP. ELEC. PANEL
- 2 C-1 PROP. DELTA CABINET
- 4 C-1 PROP. GPS UNIT W/LINE (TYP. 4 PL)
- 2 C-1 PROP. TELCO PANEL
- 6 C-1 ADD EMERGENCY NOTICE PLACARD TO TELCO PANEL DOOR
- 2 C-1 PROP. DELTA BATTERY CABINET
- PROP. 'ABC' TYPE FIRE EXTINGUISHER IN CABINET MOUNTED TO CANOPY POST.
- 1 C-4 PROP. SWITCHED LED SERVICE LIGHTS W/ TIME DELAY OFF UNDER-CANOPY 10± AGL. MINIMUM LIGHT POLLUTION (TYP.)
- 3 S-1 PROP. 10x17' CONCRETE PAD
- 2 C-1 PROP. DISCONNECT SWITCH. VERIFY W/ GENERATOR MANUFACTURER IF AN EXTERNAL DISCONNECT IS REQUIRED.
- 3 M-1 PROP. PROPANE-POWERED GENERATOR

1 EQUIPMENT PAD
 C-1 SCALE: 1/2" = 1'-0"



DELTA OUTDOOR BATTERY CABINET
 COLOR: GRAY
 71.8"Hx32.6"Wx37.8"D
 3,297 LBS.

DELTA OUTDOOR EQUIPMENT CABINET
 COLOR: GRAY
 71.8"Hx31.7"Wx45.5"D
 880 LBS.



TELCO HOFFMAN CSD36368 ENCLOSURE
 (CONCEPT, TYPE 4 AND 12) (OR EQUAL)
 COLOR: GRAY
 WxDxH=36.0"x36.0"x8.0"

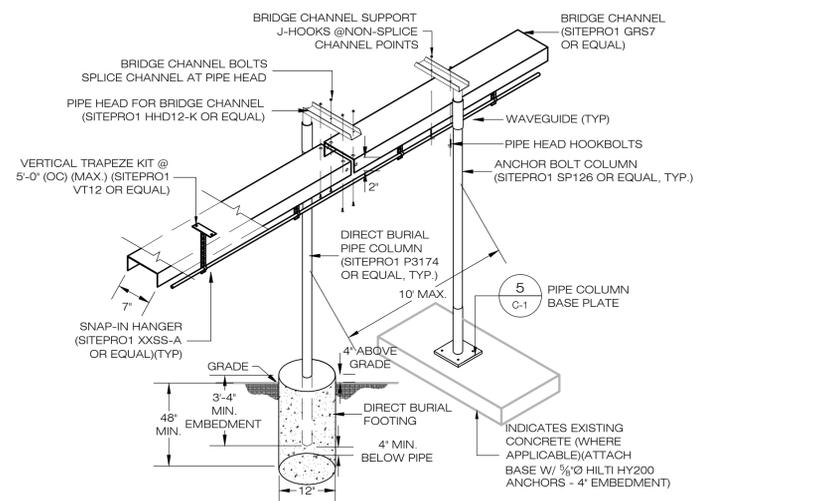
SQUARE "D" HEAVY DUTY SAFETY SWITCH
 VISIBLE BLADE TYPE - SERIES E5 (OR EQUAL)
 COLOR: GRAY
 WxDxH=27.76"x9.53"x50.31" (179 Lbs MAX)

SQUARE "D" POWER PANELS (SEE UP-FRONT ELEC. AUDIT FOR REQ.)

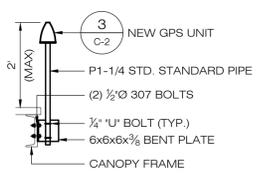
OUTDOOR LOAD CENTER (TYPE NEMA 3R) (OR EQUAL) COLOR: GRAY

PART NUMBER	SPA	MAIN	AMP	PH	"A"	"B"	"C"	(SF)	BUS
QO13040L200GRB	30	LUG	200A	1Ø	14.76"	29.84"	4.25"	0.44±	COP
QO330ML2RB	30	LUG	200A	3Ø	14.21"	30.31"	4.25"	0.42±	COP

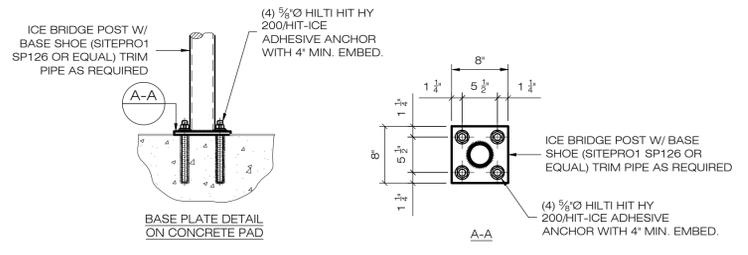
2 EQUIPMENT DETAILS
 C-1 SCALE: N.T.S.



3 CABLE BRIDGE & COAX HANGER DETAIL
 C-1 SCALE: N.T.S.



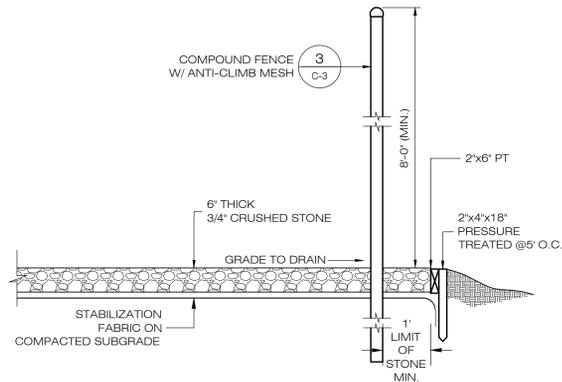
4 GPS MOUNT
 C-1 SCALE: N.T.S.



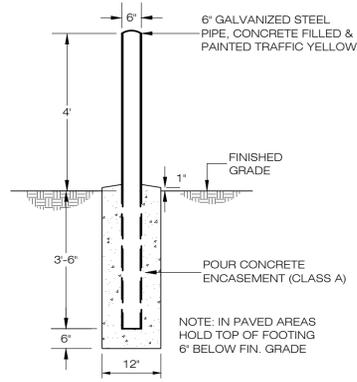
5 PIPE BASE PLATE
 C-1 SCALE: N.T.S.



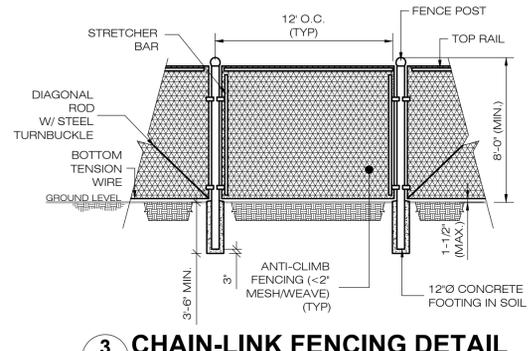
6 TYPICAL EMERGENCY NOTICE
 C-1 SCALE: N.T.S.



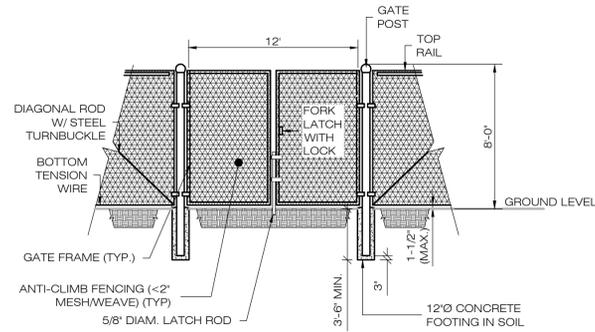
1 COMPOUND DETAIL
C-3 SCALE : N.T.S.



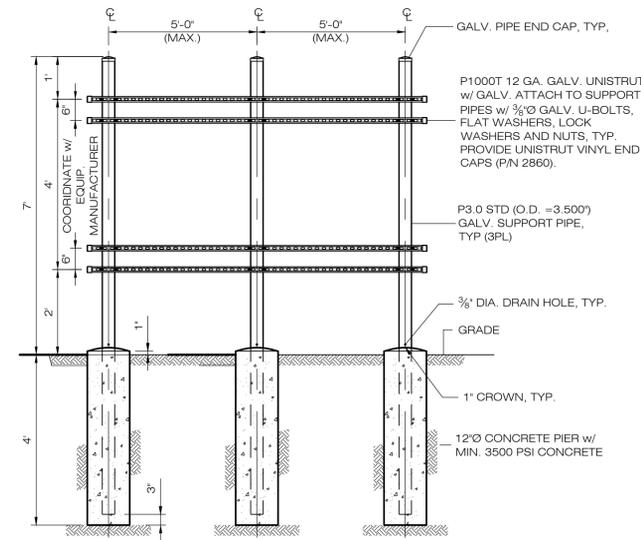
2 BOLLARD DETAIL
C-3 SCALE : N.T.S.



3 CHAIN-LINK FENCING DETAIL
C-3 SCALE : N.T.S.



4 FENCE & GATE DETAIL
C-3 SCALE : N.T.S.



5 UTILITY BACKBOARD FRAME DETAIL
C-3 SCALE : N.T.S.

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WEST NYACK, NY 10994



567 VAUXHAUL STREET EXTENSION - SUITE 311
WATERFORD, CT 06385 PHONE: (860) 663-1697
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PROJECT CODE: 20171584246

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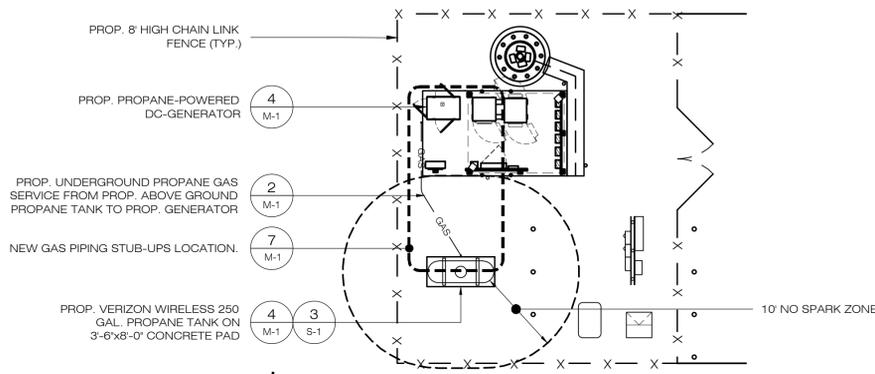
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SITE DETAILS

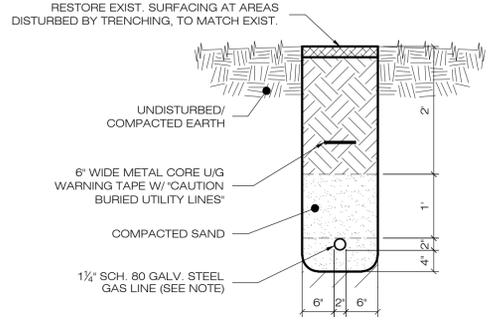
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C-3





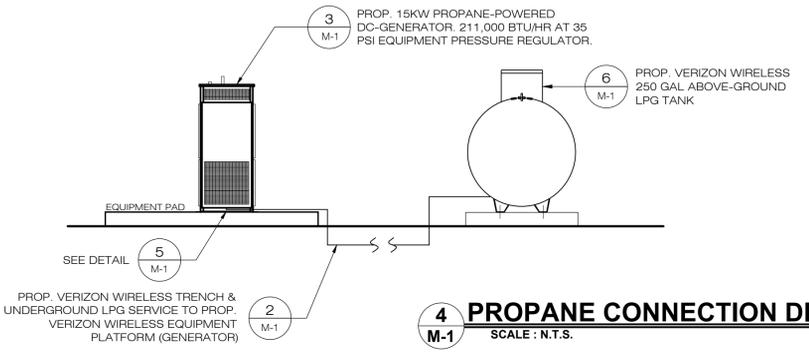
1 EQUIPMENT COMPOUND
M-1 SCALE: 1" = 10'-0"



NOTE: STEEL PIPE INSTALLED UNDERGROUND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA54. UNDERGROUND PIPING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:

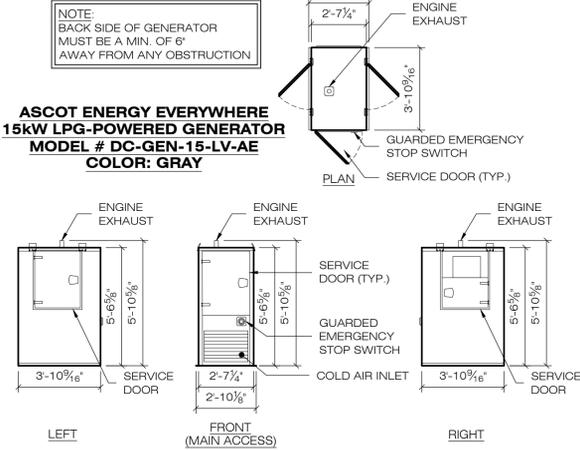
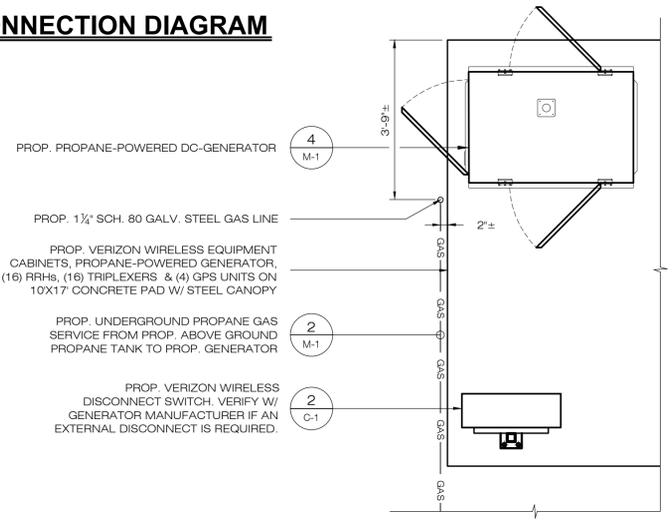
1. THE PIPING SHALL BE MADE OF CORROSION RESISTANT MATERIAL THAT IS SUITABLE FOR BURIAL.
2. PIPE SHALL HAVE A FACTORY APPLIED ELECTRICALLY INSULATING COATING, FITTINGS AND JOINTS BETWEEN SECTIONS OF COATED PIPE SHALL BE COATED IN ACCORDANCE WITH COATING MANUFACTURER'S INSTRUCTIONS.
3. THE PIPING SHALL HAVE A CATHODIC PROTECTION SYSTEM INSTALLED AND THE SYSTEM BE MAINTAINED.

2 PROPANE GAS TRENCH
M-1 SCALE: N.T.S.

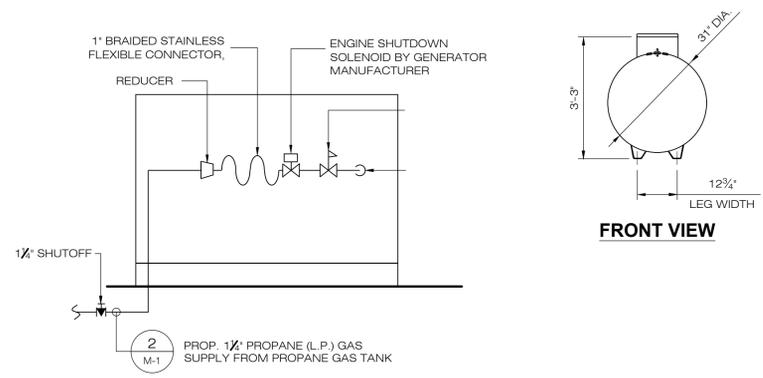


NOTE: ALL VALVES USED IN METALLIC PIPING SYSTEMS MUST HAVE PRESSURE CONTAINING PARTS OF STEEL, DUCTILE (MODULAR) IRON, MALLEABLE IRON OR BRASS. ALL MATERIALS USED, INCLUDING VALVE SEAT DISCS, PACKING, SEALS AND DIAPHRAGMS MUST BE RESISTANT TO THE ACTION OF LP GAS UNDER SERVICE CONDITIONS. MANY VALVES ARE LISTED BY INDEPENDENT TESTING LABORATORIES FOR USE IN LP GAS SERVICE. THESE CAN BE USED AS RECOMMENDED BY THE MANUFACTURER. OTHER VALVES CAN BE USED, BUT MUST COMPLY WITH THE REQUIREMENTS OF NFPA 58 AND SHOULD BE RECOMMENDED BY THE MANUFACTURER FOR LP GAS SERVICE TO BE SURE THAT ALL THE COMPONENT PARTS OF THE VALVE ARE APPROVED FOR LP GAS SERVICE. VALVES USED WITH POLYETHYLENE PIPE AND TUBING MUST MEET THE REQUIREMENTS OF ASTM D2513 AND BE SO MARKED.

4 PROPANE CONNECTION DIAGRAM
M-1 SCALE: N.T.S.



3 PROPANE GENERATOR SCHEMATICS
M-1 SCALE: 1/4" = 1'-0"

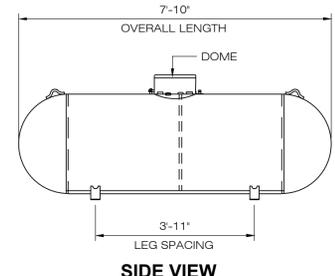


5 GENERATOR CONNECTION DETAIL
M-1 SCALE: N.T.S.

NOTE: INSTALL COMPONENTS IN ACCORDANCE W/ GENERATOR MANUFACTURERS INSTRUCTIONS.

NOTES:

1. PROPANE TANKS SHALL BE REFILLED FROM HOSE PULLED FROM A REFILLING VEHICLE PARKED AT THE NEW PARKING AREA.
2. PER NFPA 58 TABLE 5.9.4.1(B) FILLER VALVE REQUIRED ON ALL TANKS BUT MAY BE MANUAL OR BACKFLOW CHECK VALVE, NFPA 58 5.9.4.1(C)(7).
3. ALL ABOVE-GROUND GAS SERVICE LINES MUST MEET NYS CODE REGULATIONS.



1. 250 USWG AMSE VIII, DIV. 1 ABOVE GROUND LPG TANK AS MANUFACTURED BY TRINITY CONTAINERS, LLC.-
 - WWW.TRINITYCONTAINERS.COM
 - PH: 1-888-558-8265
 - WEIGHT (EMPTY) = 1,729 lbs
2. LPG TANK TO BE BOLTED TO CONCRETE SLAB PER SUPPLIERS REQUIREMENTS.

NOTE: PROVIDE TANK MANUFACTURER SHOP DRAWING FOR REVIEW BY ENGINEER OF RECORD PRIOR TO PURCHASE

6 ABOVE GROUND PROPANE TANK DETAIL
M-1 SCALE: N.T.S.

MECHANICAL NOTES & SPECIFICATIONS

1. THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE ALL WORK TO BE PERFORMED WITH THE GENERAL AND ELECTRICAL CONTRACTORS. ANY WORK DONE BY THIS CONTRACTOR WHICH INTERFERES WITH WORK BY OTHERS AND WHICH WAS NOT FIRST COORDINATED SHALL BE REMOVED AND RELOCATED AT CONTRACTOR'S EXPENSE.
2. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES AND THE PLACEMENT OF ALL EQUIPMENT PRIOR TO THE START OF HIS WORK. NO EXTRAS WILL BE ALLOWED DUE TO EQUIPMENT LOCATION CHANGE FROM THAT ON THE DRAWING.
3. IT IS THE INTENT THAT THE WORK SHALL BE COMPLETE IN EVERY RESPECT AND THAT ANY MATERIAL OR WORK NOT SPECIFICALLY MENTIONED OR SHOWN ON THE DRAWINGS, BUT NECESSARY TO FULLY COMPLETE THE WORK, SHALL BE PROVIDED.
4. THE LOCATION OF SOME ITEMS SHOWN ON THE DRAWINGS MAY BE APPROXIMATE AND THE OWNER SHALL HAVE THE RIGHT TO MAKE MINOR REVISIONS BEFORE THE WORK IS INSTALLED WITHOUT ADDITIONAL COST.
5. THIS CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY VALVES, AND ALL CONTROL DEVICES REQUIRED FOR PROPER COMPLETION OF UTILITY PIPING.
6. ALL WORK SHALL BE IN ACCORDANCE WITH 2015 PLUMBING CODE, MECHANICAL CODE, AND FUEL GAS CODE OF NEW YORK.
7. GAS DEMAND IS 211,000 BTU/HR @ 35 PSI AT EQUIPMENT PRESSURE REGULATOR

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4 CENTEROCK ROAD
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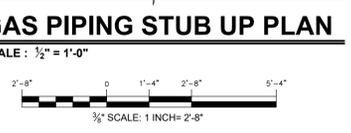
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SHEET TITLE:
MECHANICAL PLAN & DETAILS

SHEET NUMBER:
M-1

STATE OF NEW YORK
SCOTT M. CHASSE
LICENSED PROFESSIONAL ENGINEER
No. 12563
EXPIRES 12/31/2023



verizon

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DESIGN PROFESSIONALS OF RECORD

PROF: SCOTT M. CHASSE, P.E.
COMP: APT ENGINEERING
ADD: 567 VAUXHAUL STREET
EXTENSION - SUITE 311
WATERFORD, CT 06385

OWNER: TOWN OF EAST HAMPTON
ADDRESS: 159 PANTIGO ROAD
EAST HAMPTON, NY 11937

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VERIZON WIRELESS AT "WAINSCOTT 3"

SITE: 106 STEPHEN HANDS PATH
ADDRESS: WAINSCOTT, NY 11937

APT FILING NUMBER: NY141NB3300

PROJECT CODE: 20171584246

LOCATION CODE: 446966

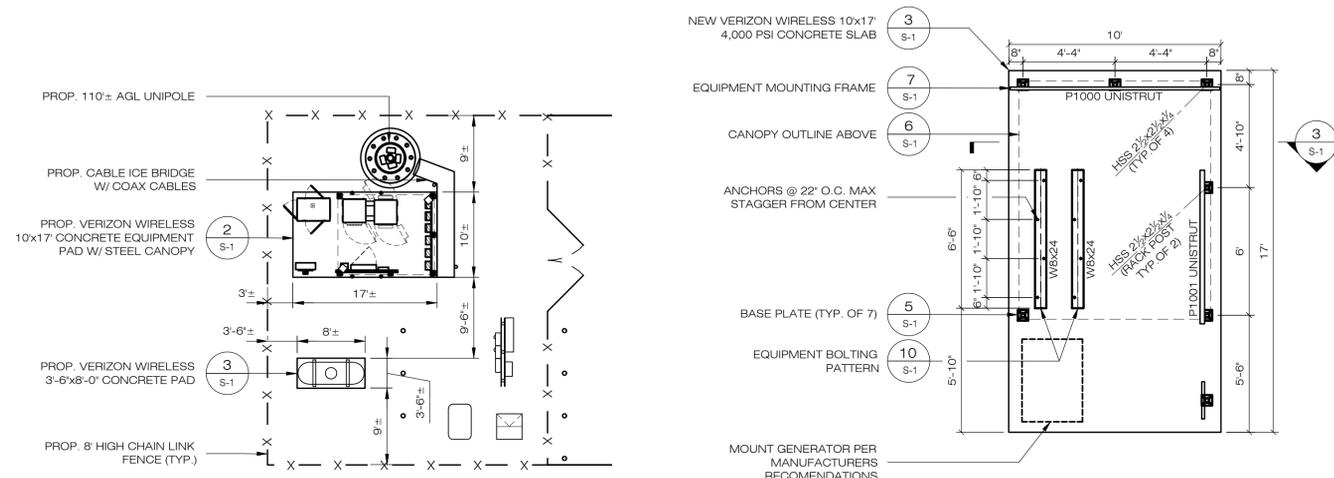
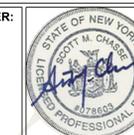
VZ CM: OZ DRAWN BY: ELZ

DATE: 04/15/19 CHECKED BY: RCB

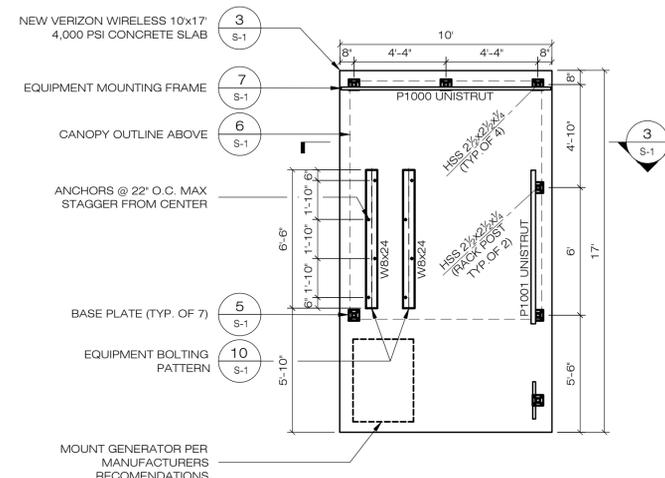
**SHEET TITLE:
STRUCTURAL PLAN & DETAILS**

SHEET NUMBER:

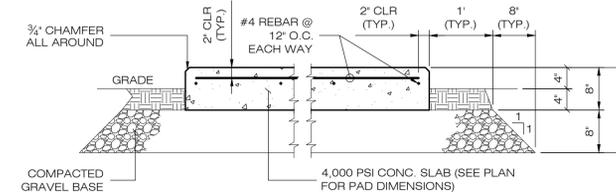
S-1



1 PARTIAL SITE PLAN
S-1 SCALE: 1" = 10'-0"

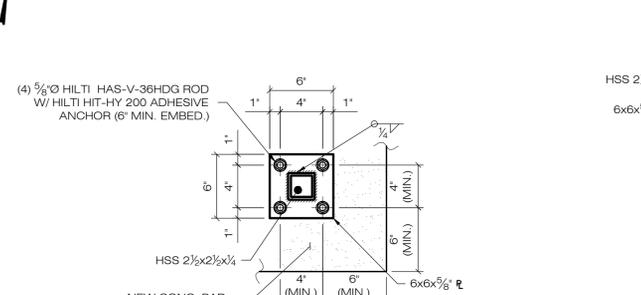


2 EQUIPMENT PAD
S-1 SCALE: 1/4" = 1'-0"

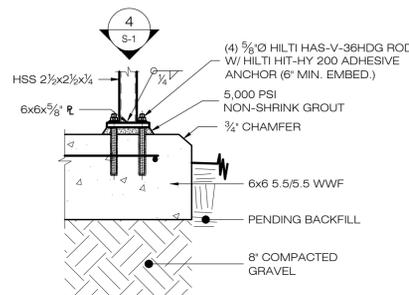


NOTES:
1. CONTRACTOR SHALL COORDINATE ALL SLAB DIMENSIONS & HOLD DOWN REQUIREMENTS W/ EQUIPMENT MANUFACTURER.
2. CONCRETE SLAB DESIGN IS BASED ON A MINIMUM ALLOWABLE SOIL BEARING PRESSURE (q_u) OF 3,000 PSF

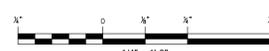
3 EQUIPMENT PAD
S-1 SCALE: 1/2" = 1'-0"



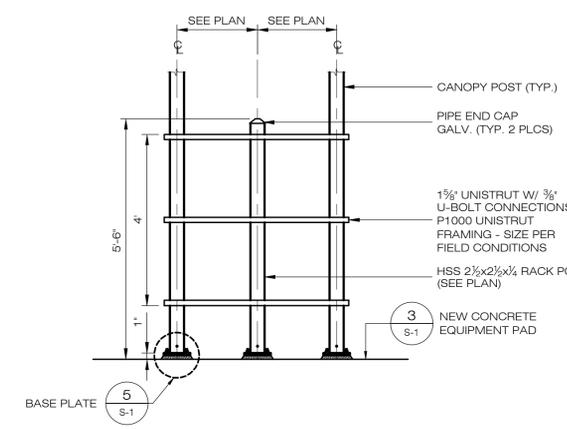
4 BASE PLATE
S-1 SCALE: 1/2" = 1'-0"



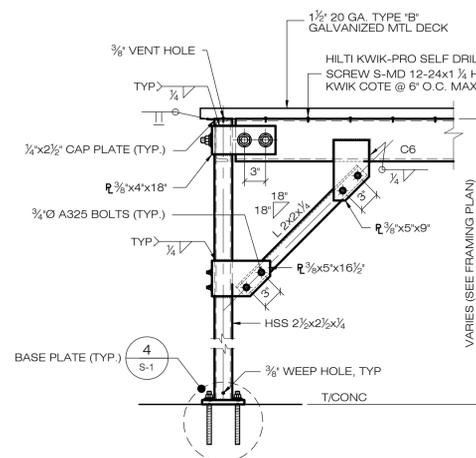
5 BASE PLATE
S-1 SCALE: 1" = 1'-0"



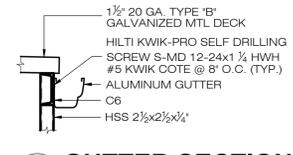
6 CANOPY FRAMING
S-1 SCALE: 1/4" = 1'-0"



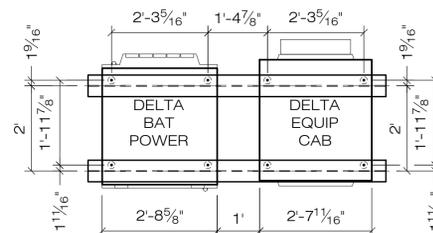
7 EQUIPMENT MOUNTING FRAME DETAIL
S-1 SCALE: N.T.S.



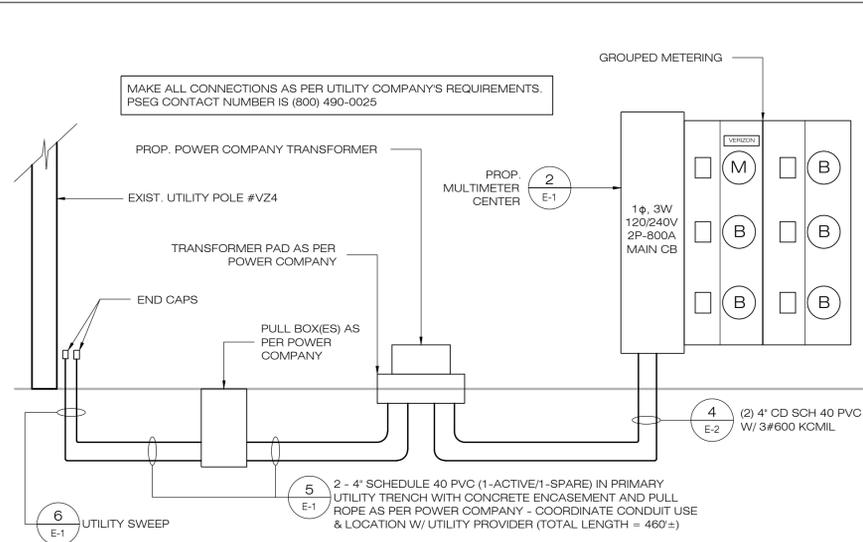
8 CANOPY SUPPORT
S-1 SCALE: 3/4" = 1'-0"



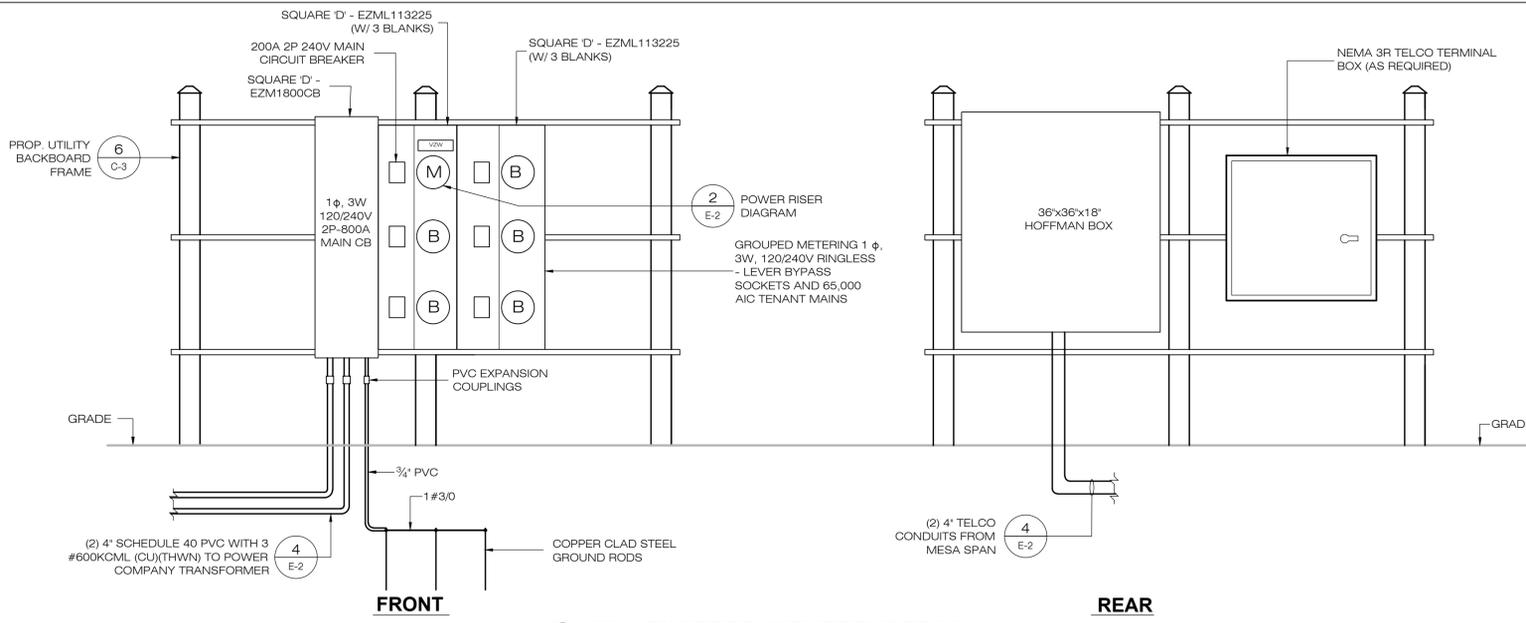
9 GUTTER SECTION
S-1 SCALE: 3/4" = 1'-0"



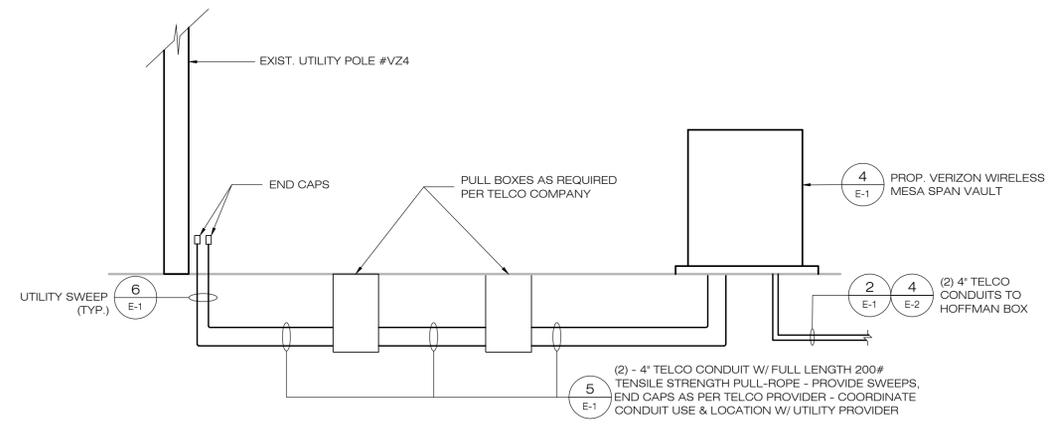
10 EQUIPMENT BOLTING PATTERN
S-1 SCALE: 1/2" = 1'-0"



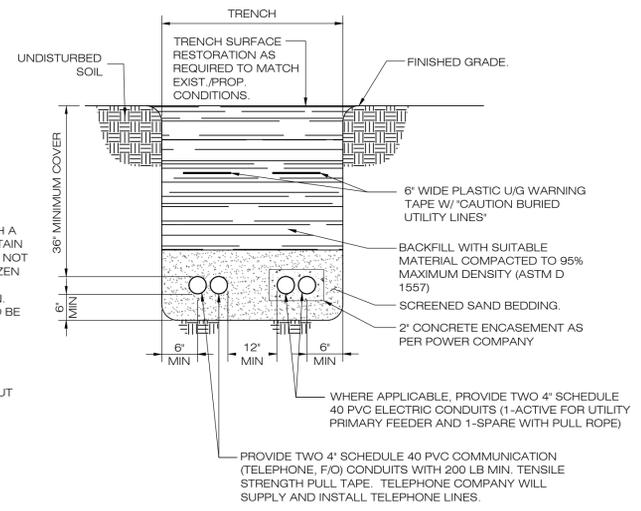
1 POWER RISER DIAGRAM
E-1 SCALE: N.T.S.



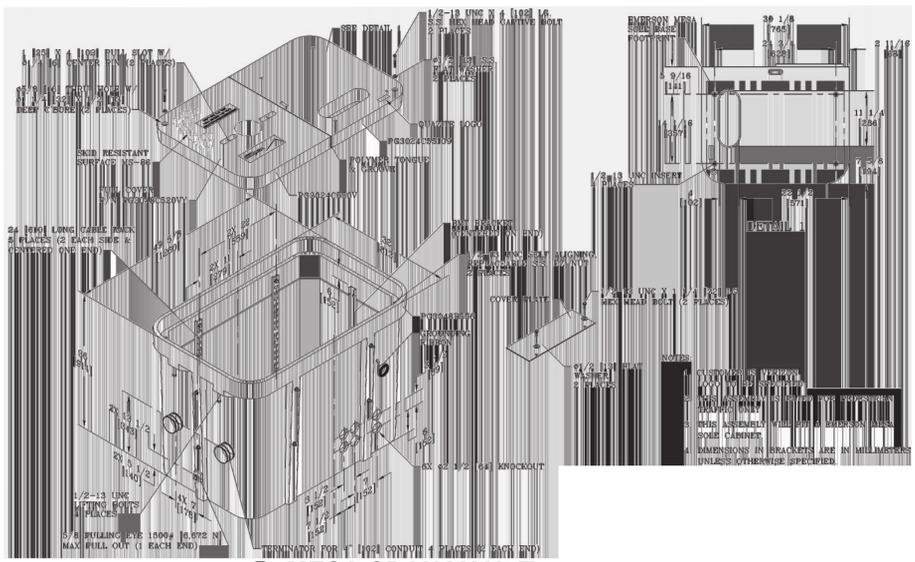
2 MULTIMETER CENTER DETAIL
E-1 SCALE: N.T.S.



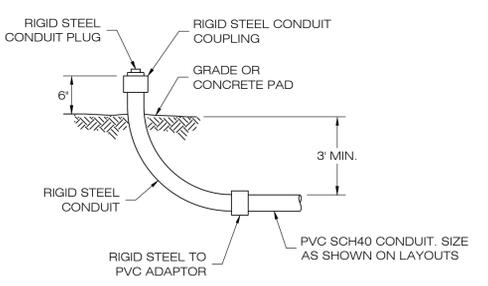
3 TELCO RISER DIAGRAM
E-1 SCALE: N.T.S.



4 MESA SPAN VAULT
E-1 SCALE: N.T.S.



5 PRIMARY UTILITY TRENCH
E-1 SCALE: N.T.S.



6 UTILITY SWEEP
E-1 SCALE: N.T.S.

NOTES:

1. THE CLEAN FILL SHALL PASS THROUGH A 3/8" MESH SCREEN AND SHALL NOT CONTAIN SHARP STONES, OTHER BACKFILL SHALL NOT CONTAIN ASHES, CINDERS, SHELLS, FROZEN MATERIAL, LOOSE DERBIES OR STONES LARGER THAN 2" IN MAXIMUM DIMENSION. WHERE EXISTING UTILITIES ARE LIKELY TO BE ENCOUNTERED.
2. CONTRACTOR SHALL HAND DIG AND PROTECT EXISTING UTILITIES.
3. EXISTING PAVEMENT SHALL BE SAW-CUT PRIOR TO TRENCH EXCAVATION

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APT ENGINEERING
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WATERFORD, CT 06385 PHONE: (860) 663-1697
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PROJECT CODE: 20171584246

LOCATION CODE: 446966

VZ CM: OZ DRAWN BY: ELZ
DATE: 04/15/19 CHECKED BY: RCB

SHEET TITLE:
ELECTRICAL RISER & DETAILS

SHEET NUMBER:
E-1

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 4 CENTEROCK ROAD
 WEST NYACK, NY 10994

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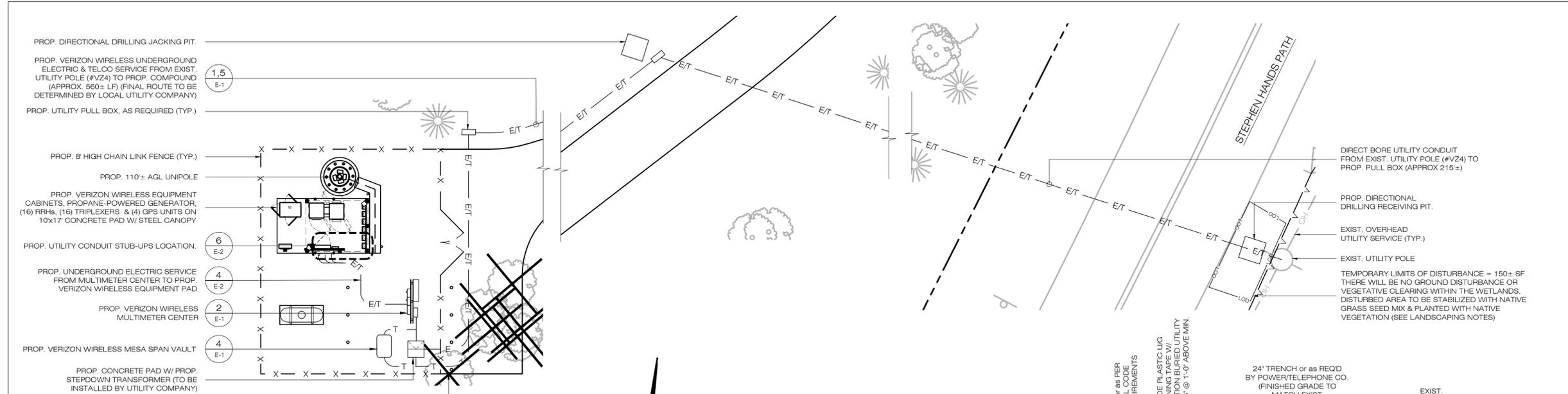
VZ CM: OZ DRAWN BY: ELZ

DATE: 04/15/19 CHECKED BY: RCB

SHEET TITLE:
ELECTRICAL PLAN, ONE LINE DIAGRAM & DETAILS

SHEET NUMBER:

E-2



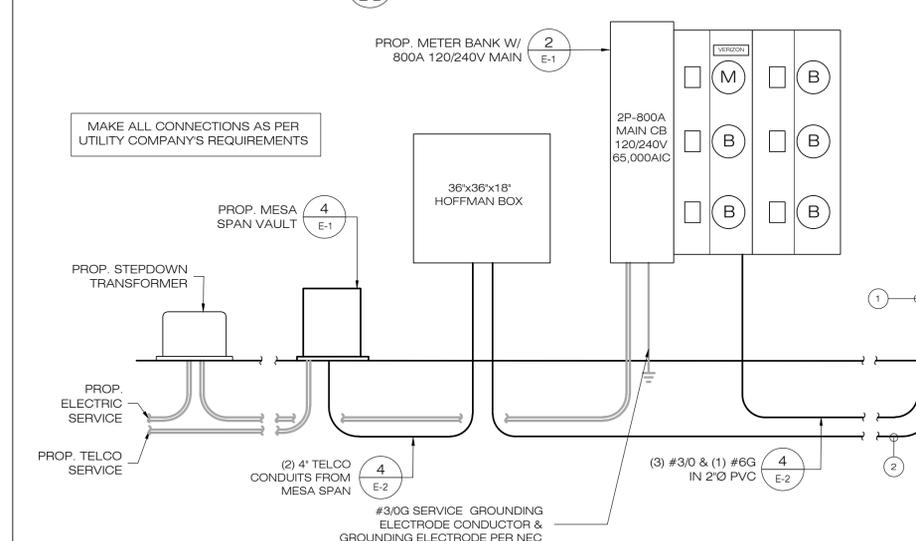
1 PARTIAL SITE PLAN
 E-2 SCALE: 1" = 10'-0"

- PROP. DIRECTIONAL DRILLING JACKING PIT.
- PROP. VERIZON WIRELESS UNDERGROUND ELECTRIC & TELCO SERVICE FROM EXIST. UTILITY POLE (#VZ4) TO PROP. COMPOUND (APPROX. 560± LF) (FINAL ROUTE TO BE DETERMINED BY LOCAL UTILITY COMPANY)
- PROP. UTILITY PULL BOX, AS REQUIRED (TYP.)
- PROP. 8' HIGH CHAIN LINK FENCE (TYP.)
- PROP. 110± AGL UNIPOLE
- PROP. VERIZON WIRELESS EQUIPMENT CABINETS, PROPANE-POWERED GENERATOR (16) RRHs, (16) TRIPLEXERS & (4) GPS UNITS ON 10x17 CONCRETE PAD W/ STEEL CANOPY
- PROP. UTILITY CONDUIT STUB-UPS LOCATION.
- PROP. UNDERGROUND ELECTRIC SERVICE FROM MULTIMETER CENTER TO PROP. VERIZON WIRELESS EQUIPMENT PAD
- PROP. VERIZON WIRELESS MULTIMETER CENTER
- PROP. VERIZON WIRELESS MESA SPAN VAULT
- PROP. CONCRETE PAD W/ PROP. STEPDOWN TRANSFORMER (TO BE INSTALLED BY UTILITY COMPANY)
- EXIST. TREE TO BE REMOVED (TYP. 18 PL, SEE SHEET SP-2)

CIRCUIT SIZE	PANEL	PP1 VOLTAGE RATING	MOUNTING MAIN CB MLO	SURFACE 200A	SQUARE 'D' QO13040L200GRB 240/10/3W	CIRCUIT SIZE
NOTE 3	1	120/240, 1Ø				2
	3					4
NOTE 3	5					6
	7					8
	9					10
	11					12
	13					14
	15					16
	17					18
	19					20
	21					22
	23					24
	25					26
	27					28
	29					30

- NOTES:**
- ELECTRICAL CONTRACTOR SHALL VERIFY THE TYPE OF POWER CABINET BEING USED WITH CLIENT'S REPRESENTATIVE PRIOR TO BID.
 - TVSS CIRCUIT SIZE (CONDUCTORS AND BREAKER) AS PER MFR'S SPECIFICATIONS
 - COMBINE POWER AND GFI CIRCUIT IN (1) 1" C WITH (2) #6, (2) #12, (1) #10G.

3 PANEL SCHEDULE
 E-2 SCALE: N.T.S.

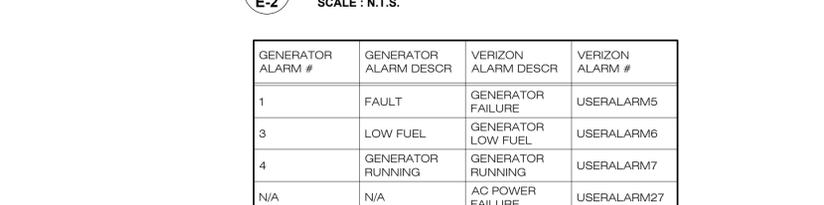


2 ONE-LINE DIAGRAM
 E-2 SCALE: N.T.S.

NOTES & SPECIFICATIONS:

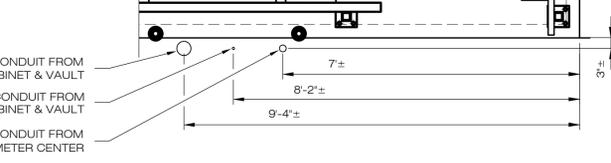
- (3) #3/0 + (1) #6G IN 2"Ø PVC.
- 12 PR SINGLE MODE FIBER CABLES WITH LC-SC JUMPER (V.I.F.), 4" C.
- (2) SINGLE MODE FIBER CABLES WITH LC-SC JUMPER (V.I.F.), 2" LIQUIDTIGHT FLEXIBLE METAL (LFMC) CONDUIT WITH SPARE DRAG LINE.
- (8) PR 24GA ALARM WIRES, (2) PR 24 GA TWISTED SHIELDED, (1) CAT-6 LAN CABLE IN 1" LIQUIDTIGHT FLEXIBLE METAL (LFMC) CONDUIT. TERMINATE PER MANUFACTURER'S & OWNER'S SPECIFICATIONS
- 500 KCMIL DC FEEDER (1) #3 G (MINIMUM, INCREASE FOR VOLTAGE DROP IF APPLICABLE)
- EXTERNAL 15KW 350A DC DISCONNECT SWITCH
- PLUG CONNECTOR(S) INTO INTERNAL EQUIPMENT CABINET ROUTER/INTERFACE MODULE AND ALARM WIRING TO ALARM TERMINAL BLOCK IN CONTROL MODULE OF EQUIPMENT CABINET
- NOT USED.
- (2) #6, (2) #12, #10G, 1" C.
- (10) (2) #12, #12G, 3/4" C BATTERY HEATER CIRCUITS.
- (1) NOT USED
- BUS BAR CONNECTION ON EZBFO CABINET WITH TWO HOLE LONG BARREL TERMINAL LUGS. (1/2" HOLES WITH 3/8" SPACING).
- (13) (2) #12, #12G IN 3/4" C. CANOPY LIGHTING BRANCH CIRCUITS.
- (14) (2) 3/4" C W/ (2) #12 & #12G FOR TELCO/9712 GFI

4 SECONDARY TRENCH DETAIL
 E-2 SCALE: N.T.S.



5 ALARM SCHEDULE
 E-2 SCALE: N.T.S.

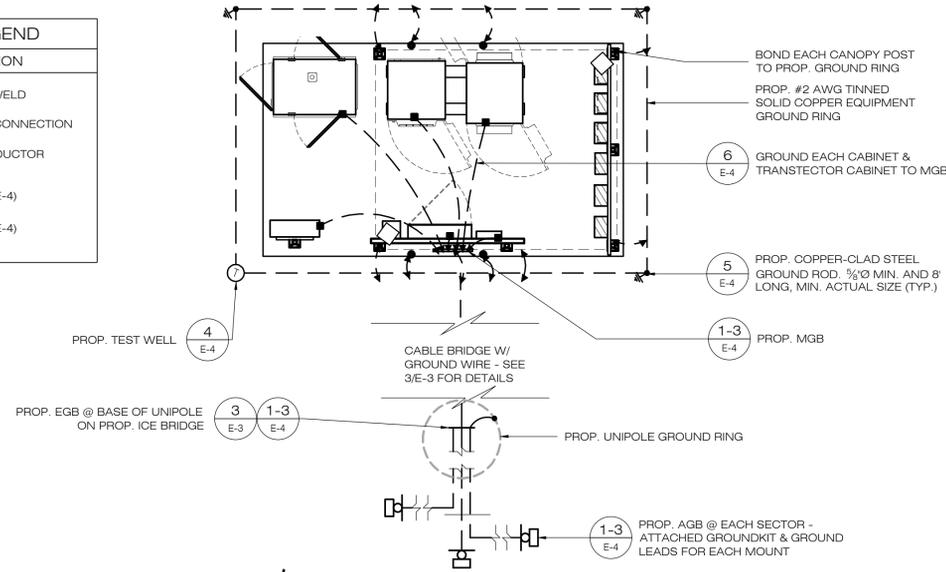
GENERATOR ALARM #	GENERATOR ALARM DESCR	VERIZON ALARM DESCR	VERIZON ALARM #
1	FAULT	GENERATOR FAILURE	USERALARM5
3	LOW FUEL	GENERATOR LOW FUEL	USERALARM6
4	GENERATOR RUNNING	GENERATOR RUNNING	USERALARM7
N/A	N/A	AC POWER FAILURE	USERALARM27



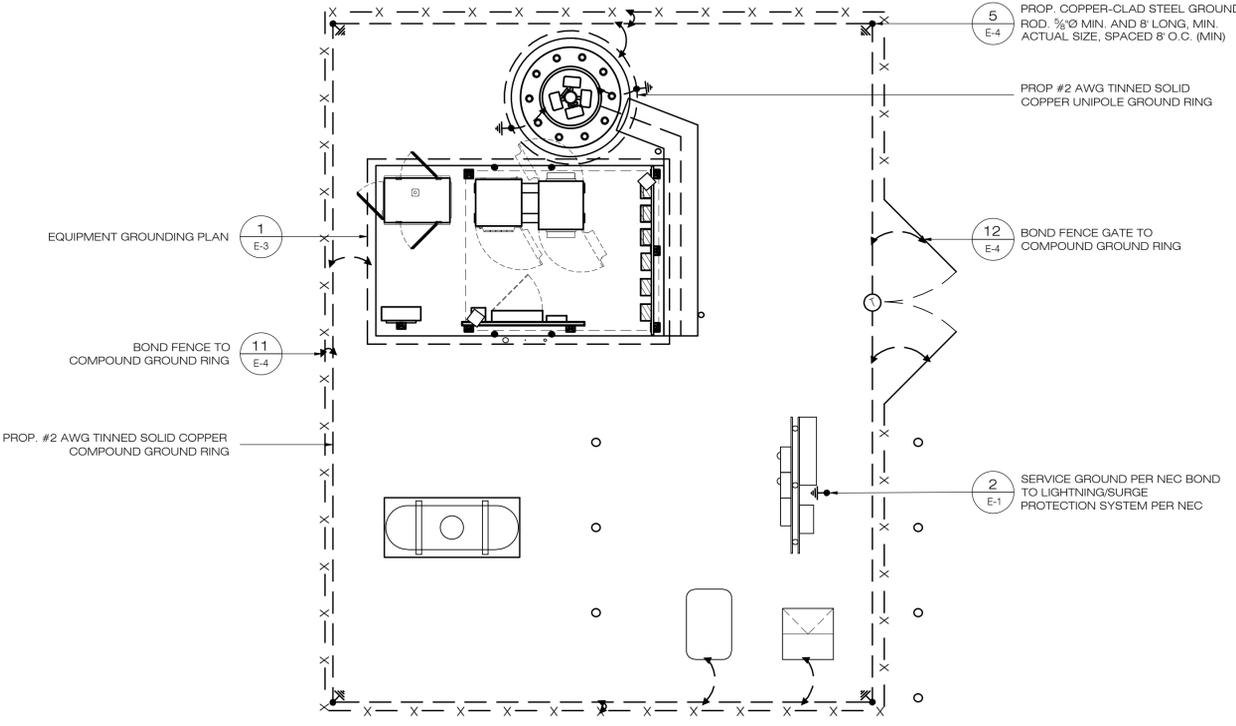
6 UTILITY STUB-UP PLAN
 E-2 SCALE: 1/2" = 1'-0"



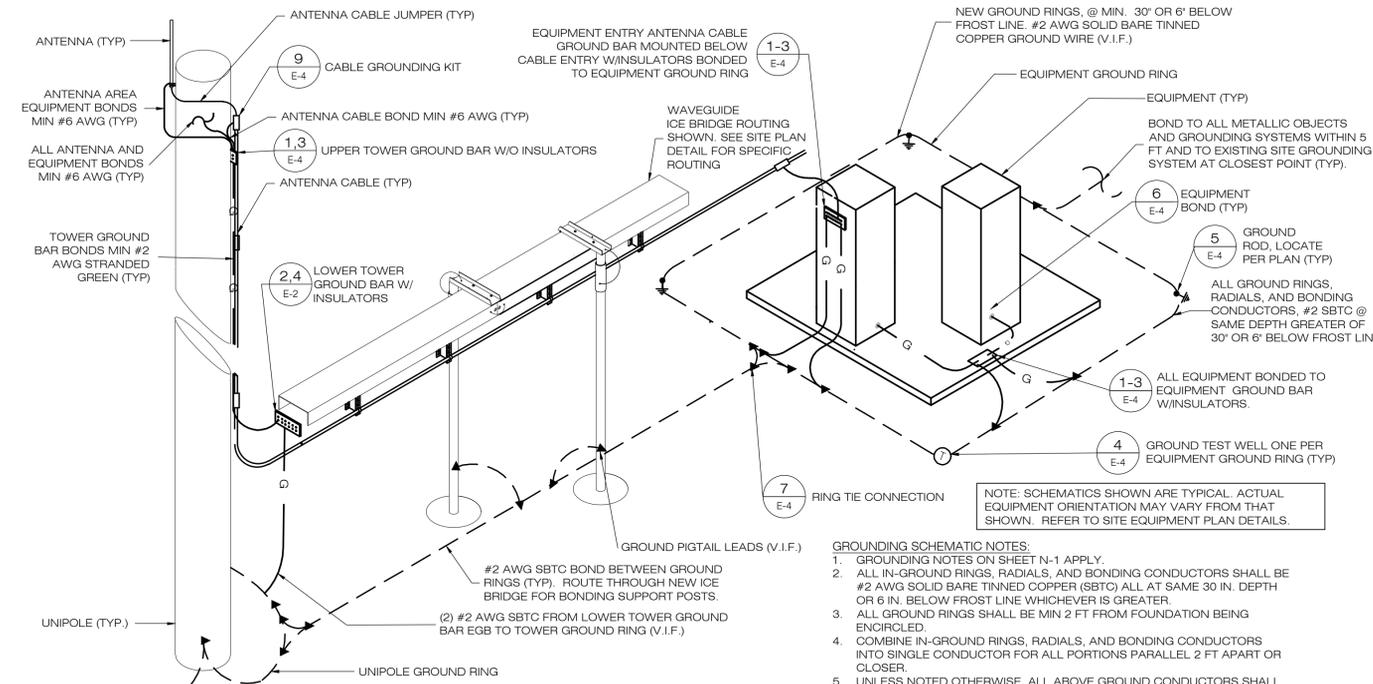
GROUNDING LEGEND	
SYMBOL	DESCRIPTION
	EXOTHERMIC WELD
	MECHANICAL CONNECTION
	GROUND CONDUCTOR
	GROUND ROD (SEE DETAIL 3/E-4)
	TESTING WELL (SEE DETAIL 6/E-4)



1
E-3
TYPICAL EQUIPMENT GROUNDING PLAN
SCALE: N.T.S.



2
E-3
TYPICAL COMPOUND GROUNDING PLAN
SCALE: 1" = 5'-0"



3
E-3
TYPICAL TOWER & COMPOUND GROUNDING SCHEMATIC
SCALE: N.T.S.

- GROUNDING SCHEMATIC NOTES:**
- GROUNDING NOTES ON SHEET N-1 APPLY.
 - ALL IN-GROUND RINGS, RADIALS, AND BONDING CONDUCTORS SHALL BE #2 AWG SOLID BARE TINNED COPPER (SBTC) ALL AT SAME 30 IN. DEPTH OR 6 IN. BELOW FROST LINE WHICHEVER IS GREATER.
 - ALL GROUND RINGS SHALL BE MIN 2 FT FROM FOUNDATION BEING ENCLOSED.
 - COMBINE IN-GROUND RINGS, RADIALS, AND BONDING CONDUCTORS INTO SINGLE CONDUCTOR FOR ALL PORTIONS PARALLEL 2 FT APART OR CLOSER.
 - UNLESS NOTED OTHERWISE, ALL ABOVE GROUND CONDUCTORS SHALL BE MIN #6 AWG INSULATED STRANDED COPPER.
 - CONDUCTORS BONDING ABOVE-GROUND CONNECTIONS TO IN-GROUND CONNECTIONS SHALL BE MIN #2 AWG SBTC UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED BY LIQUIDTIGHT FLEXIBLE NONMETALLIC CONDUIT FOR ALL PORTIONS ABOVE GROUND.

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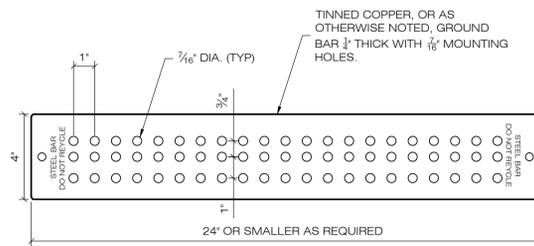
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SHEET TITLE:
GROUNDING PLANS

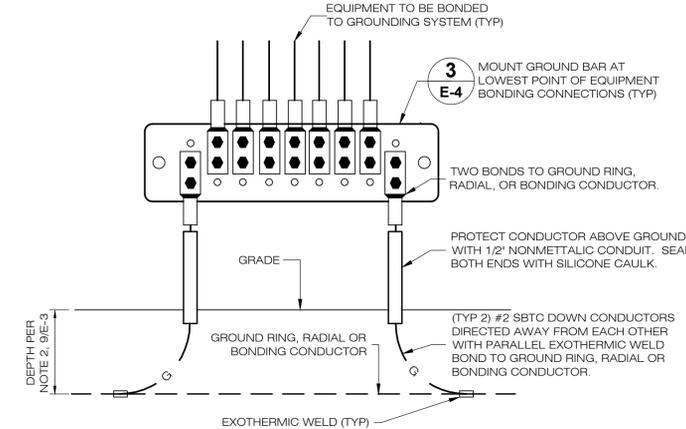
SHEET NUMBER:
E-3



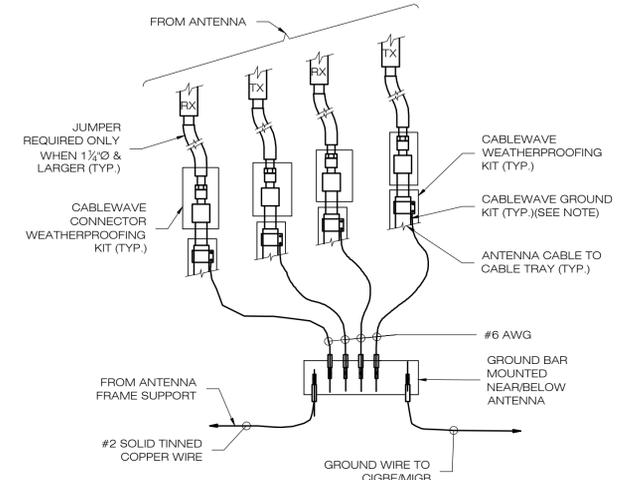


1 GROUND BARS
E-4 SCALE: N.T.S.

NOTES:
1. NO EXOTHERMIC WELDS TO GROUND BAR. ATTACH CONDUCTORS WITH (2) HOLE COPPER COMPRESSION TERMINATIONS AND ALL STAINLESS STEEL HARDWARE
2. DOUBLE UP CONNECTIONS ON BACKSIDE OF GROUND BAR ONLY AS NECESSARY.



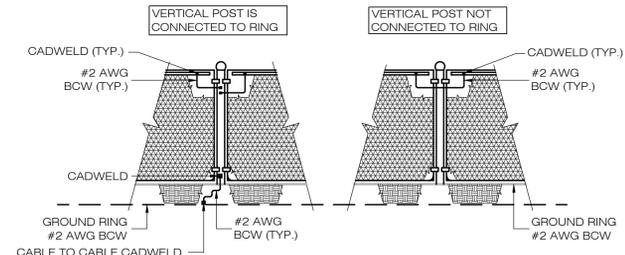
2 GROUND BAR CONNECTION DETAIL
E-4 SCALE: N.T.S.



3 GROUND BAR MOUNTING DETAILS
E-4 SCALE: N.T.S.

10 CONNECTION OF GROUND WIRES TO GROUND BAR
E-4 SCALE: N.T.S.

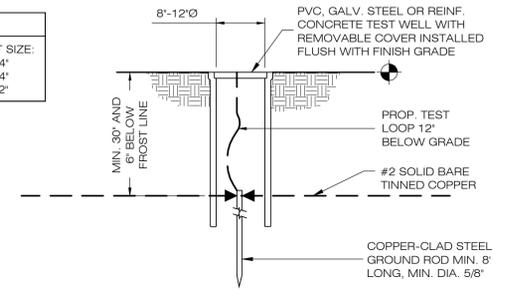
NOTES:
1. VERTICAL POST SHALL BE BONDED TO THE RING @ EACH CORNER & @ EACH GATE POST. AS A MINIMUM ONE VERTICAL POST SHALL BE BONDED TO THE GROUND RING IN EVERY 100'-0" STRAIGHT RUN OF FENCE.
2. HORIZONTAL POLES SHALL BE BONDED TO EACH OTHER.
3. BOND EACH HORIZONTAL POLE / BRACE TO EACH OTHER & TO EACH VERTICAL POST THAT IS BONDED TO THE EXTERIOR GROUND RING.



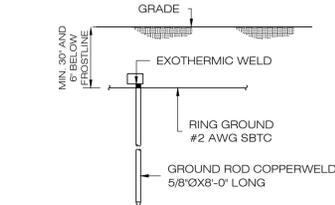
11 FENCE GROUNDING DETAIL
E-4 SCALE: N.T.S.

BASED ON THOMAS & BETTS

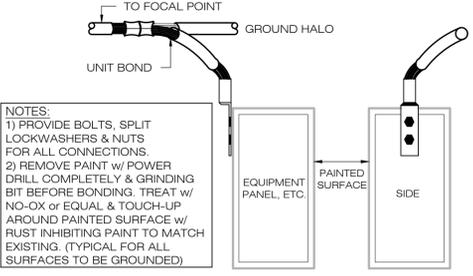
CAT. #:	WIRE SIZE:	DIE #:	BOLT SIZE:
54205	#6 AWG	24	1/4"
54207	#2 AWG	33	1/4"
54260	#2/0 AWG	45	1/2"



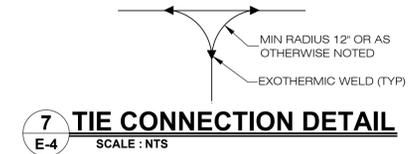
4 GROUND SYSTEM TESTING WELL
E-4 SCALE: N.T.S.



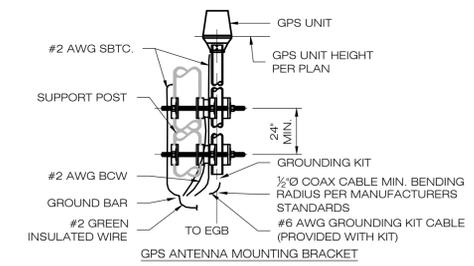
5 GROUND ROD DETAIL
E-4 SCALE: N.T.S.



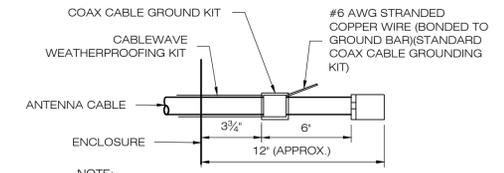
6 (2) HOLE LUG BONDS
E-4 SCALE: N.T.S.



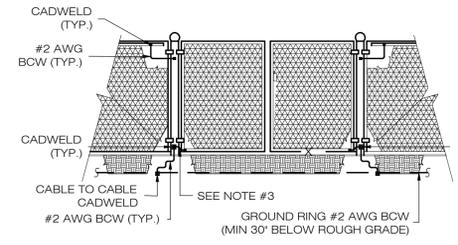
7 TIE CONNECTION DETAIL
E-4 SCALE: N.T.S.



8 GPS AND MOUNTING BRACKET GROUNDING DETAIL
E-4 SCALE: N.T.S.



9 ANTENNA CABLE GROUNDING DETAIL
E-4 SCALE: N.T.S.



12 12' GATE GROUNDING DETAIL
E-4 SCALE: N.T.S.

NOTES:
1. THE #2 AWG, BCW, FROM THE RING GROUND SHALL BE CAD WELDED TO THE POST ABOVE GRADE.
2. BOND EACH HORIZONTAL POLE / BRACE TO EACH OTHER & TO EACH VERTICAL POLE BONDED TO THE EXTERIOR GROUND RING.
3. GATE JUMPER SHALL BE #4/0 AWG WELDING CABLE OR FLEXIBLE COPPER BRAID BURNDY TYPE 'B' W/ SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.

verizon
4 CENTEROCK ROAD
WEST NYACK, NY 10994

APT ENGINEERING

567 VAUXHAUL STREET EXTENSION - SUITE 311
WATERFORD, CT 06385 PHONE: (860) 663-1697
WWW.ALLPOINTS.TECH.COM FAX: (860) 663-0935

PERMITTING DOCUMENTS

NO.	DATE	REVISION
0	04/15/19	FOR REVIEW: RCB
1	05/08/19	ATTORNEY REVISIONS: RCB
2	07/17/19	ATTORNEY REVISIONS: RCB
3	03/06/20	REVISED LAYOUT: RCB
4	03/12/20	ATTORNEY REVISIONS: RCB
5	03/19/20	ATTORNEY REVISIONS: RCB
6	03/30/20	ATTORNEY REVISIONS: RCB
7	06/19/20	TOWN COMMENTS: RCB
8	07/24/20	FOR REVIEW: RCB
9	07/29/20	FOR REVIEW: RCB
10	07/31/20	ATTORNEY REVISIONS: RCB

DESIGN PROFESSIONALS OF RECORD
PROF. SCOTT M. CHASSE, P.E.
COMP: APT ENGINEERING
ADD: 567 VAUXHAUL STREET
EXTENSION - SUITE 311
WATERFORD, CT 06385
OWNER: TOWN OF EAST HAMPTON
ADDRESS: 159 PANTIGO ROAD
EAST HAMPTON, NY 11937

NOTE:
IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209 (2) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THE SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

VERIZON WIRELESS AT
"WAINSCOTT 3"
SITE 106 STEPHEN HANDS PATH
ADDRESS: WAINSCOTT, NY 11937
APT FILING NUMBER: NY141NB3300
PROJECT CODE: 20171584246
LOCATION CODE: 446966
VZ CM: OZ DRAWN BY: ELZ
DATE: 04/15/19 CHECKED BY: RCB

SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER:
E-4





TOWN OF EAST HAMPTON

300 Pantigo Place – Suite 105
East Hampton, New York 11937-2684

Planning Department
JoAnne Pahlul
Director

Telephone (631) 324-2178
Fax (631) 324-1476

SITE PLAN/SPECIAL PERMIT EVALUATION

44 Three Mile Harbor Road

SCTM#300-161-4-9

App#: A0520200021

Prepared by: Marco Wu *MW*
Planner

Date: September 1, 2020

1. APPLICATION INFORMATION

A. INFORMATION RECEIVED:

- Ten (10) copies of the application;
- Ten (10) copies of survey prepared by George Walbridge Surveyors, P.C. last revised on August 10, 2020;
- Ten (10) sets of Conceptual rendering prepared by Pamela Glazer (01: Southwest perspective from street entry into parking lot); (02: Aerial view looking at proposed west elevation); (03: Perspective view from south elevation looking through pedestrian walkway);
- Ten (10) copies of an agent letter;
- Ten (10)sets of plans prepared by Pamela J. Glazer dated August 10, 2020 (A-00.01 Title Sheet); (A-00.02 Proposed Site Plan);(A-00.03 Proposed Basement Plan);(A-00.04 Proposed First Floor Plan); (A-00.05 Proposed Second Floor Plan); (A-00.06 Proposed South & West Elevations)

B. DATE SUBMITTED: August 17, 2020

C. OWNER: Cilvan Realty LLC

D. APPLICANT/AGENT: Pamela Glazer

E. SCHOOL DISTRICT: East Hampton

F. STREET NAME: 44 Three Mile Harbor Road

G. TYPE OF STREET: County (CR40)

H. ZONING DISTRICT: Neighborhood Business

I. SEQRA - TYPE OF ACTION: Unlisted

J. INVOLVED AGENCIES: SCDHS, Suffolk County Planning Commission

K. OTHER REVIEW: East Hampton Fire Department

2. DESCRIPTION OF PROJECT

- A. **PROPOSED USE(S) AS CLASSIFIED BY TOWN CODE:** Retail, office, 4 apartments
- B. **EXISTING USE(S) AS CLASSIFIED BY TOWN CODE:** Restaurant & Bar
- C. **ARE THE EXISTING & PROPOSED USES PERMITTED OR SPECIAL PERMITTED BY THE TOWN CODE?** Existing are permitted; Proposed permitted and special permit
- D. **AREA OF PARCEL (SQUARE FEET):** 34,962 sq. ft.
- E. **MOST RECENT CERTIFICATE OF OCCUPANCY:** 2/18/04 - C.O.20926 CILVAN REALTY, LLC ONE STORY, FRAME & STUCCO "GROUP A 2" RESTAURANT & BAR, ERECTED BEFORE THE ADOPT. OF ZONING; WITH ALTEATION TO INTERIOR & EXTERIOR OF EXISTING BLDG; WITH FIREPLACE; CANOPIES, WALL, FENCING & FLAGS.
- F. **DESCRIPTION OF EXISTING STRUCTURES:** One story, 5,903 sq. ft. frame building with restaurant and bar
- G. **DESCRIPTION OF PROPOSED STRUCTURES:** 21,613 sq. ft.
- H. **EXISTING & PROPOSED LOT COVERAGE:** Existing: 5,903 sq. ft (17% of Lot Area); Proposed: 11,026 sq. ft. (32% of Lot Area)
- I. **EXISTING & PROPOSED TOTAL COVERAGE:** Existing: 30,135 sq. ft. (86% of Lot Area); Proposed: 32,574 (93% of Lot Area)
- J. **HEIGHT OF PROPOSED STRUCTURES:** 32'-6"
- K. **NUMBER OF STORIES OF PROPOSED STRUCTURES:** Two (2)
- L. **NUMBER OF EXISTING PARKING SPACES:** (54)
- M. **NUMBER OF PARKING SPACES REQUIRED:** (86)
- N. **TOTAL PARKING SPACES PROVIDED:** (59)
- O. **VARIANCES REQUIRED:** Yes
- P. **DOES EXISTING & PROPOSED LIGHTING COMPLY WITH BOARD POLICY?** Existing to be eliminated; No lighting plans have been submitted
- Q. **DISTANCE TO PUBLIC WATER:** Water main in street
- R. **SOURCE OF WATER SUPPLY:** Public Water
- S. **TYPE OF SANITARY SYSTEM:** None indicated
- T. **ARE EXISTING & PROPOSED SANITARY SYSTEMS DEPICTED:** N/A
- U. **DO SANITARY CALCULATIONS COMPLY WITH SCDHS STANDARDS?** N/A
- V. **NUMBER OF ACCESS POINTS:** Two (2)
- W. **IS SIGHT DISTANCE ACCEPTABLE?** TBD
- X. **IS THE PROPOSAL ADA COMPLIANT?** See issues for discussion

3. SUBMISSION REQUIREMENTS PURSUANT TO CHAPTER 255 (LIST ITEMS AND SECTION FOR THOSE ITEMS NOT SUBMITTED)

4. **SITE ANALYSIS:**
- A. **SOIL TYPE:** CpA, CpC, PsB
 - B. **FLOOD HAZARD ZONE:** Zone X
 - C. **DESCRIPTION OF VEGETATION:** Cleared
 - D. **RANGE OF ELEVATIONS:** Approximately 20-23'
 - E. **NATURE OF SLOPES:** Relatively Flat
 - F. **TYPE OF WETLANDS WITHIN NRSP JURISDICTION:** None determined
 - G. **SETBACK FROM ANY WETLAND OR WATER BODY:** N/A
 - H. **ARE THERE TRAILS ON SITE?** N/A
 - I. **DEPTH TO WATER TABLE:** Approximately 15-18'
 - J. **DOES THE SITE CONTAIN HISTORIC OR ARCHAEOLOGICAL RESOURCES?** None have been identified; site is disturbed
 - K. **AGRICULTURAL DATA STATEMENT REQUIRED:** N/A
 - L. **IS THE SITE CONTAINED WITHIN:**

NYS Significant Coastal Fish & Wildlife Habitat	No
Local Significant Coastal Fish & Wildlife Habitat	No
US Fish & Wildlife Significant Ecological Complex	No
PEP CLPS list	No
Town Community Preservation Fund List	No
Recommended Scenic Area of Statewide Significance	No
Suffolk County designated Pine Barrens	No
South Fork Special Groundwater Protection Area	No
Town Overlay District	No

Other Background Information:

An application has been made to demolish the existing structures and construct a new two story mixed use building with a total square footage of 21,613 sq. ft., which includes a 11,026 sq. ft. first floor with a retail store and loading dock, an 11,022 sq. ft. second floor containing 5,345 sq. ft. of office space and 3,834 sq. ft. of work force housing. A staircase and elevator of 1,323 sq. ft. have been included in the floor plans. Also proposed is 481 sq. ft. of basement space with an 8,782 sq. ft. underground parking area comprised of 23 parking spaces, and 36 at grade parking spaces. Parking will be serviced by two two-way access points along Three Mile Harbor Road. The parcel is zoned Neighborhood Business zoning district, cleared of naturally occurring vegetation, and has mature deciduous trees and shrubs along the sides and rear of the property. Office and retail uses are permitted uses in a B zoning district. The apartments are a special permit use and will need to meet the special permit regulations.

Application to build a mixed use building (retail, office, affordable apartments) with new at grade and underground parking, demolish the existing structures.



Existing building



Existing access points and frontage along CR40



Existing lot

Issues for Discussion:

Coverage

The maximum permitted building coverage is 40% of 13,985 sq. ft. and the proposed 11,026 sq. ft. building complies with zoning. The existing total coverage is 30,135 sq. ft. where the maximum permitted is 24,473 sq. ft. The new application indicates that the proposed coverage is 32,542 sq. ft. which is expanding the existing, nonconforming coverage.

Total coverage is expanding beyond the permitted limits of the zoning district and will necessitate a variance from the Zoning Board of Appeals.

Setbacks

The building envelope depicted on the site plan does not take into account the requirement that the side and rear yard setbacks must be doubled where the site borders residence districts as per §255-11-10 Business and Commercial-Industrial Districts - Table of Dimensional Regulations (Note 7 - Except for yards bordering a residence district, in which case the figure shown shall be doubled.) Therefore, the setbacks for principal and accessory structures are doubled to 30' on the southerly side and to 50' on the easterly or rear side.

A small portion of the existing building is preexisting, nonconforming with regard to setbacks on the northern and eastern side. The proposed building is oriented to be parallel

to the western property line (Three Mile Harbor Road) and a significant portion of the building falls within the 50' rear yard setback requirement and would require a variance from the Zoning Board of Appeals. Similarly a significant portion of the building will fall within the 30' side yard setback requirement along the northern side of the property and would also require a variance.

The parking proposed on the southerly side is proposed on the property line and does not meet the 30' setback requirement based on the doubled setbacks as it adjoins a residential district. The parking proposed along Three Mile Harbor Road is also located along the property line and does not meet the 25' front yard setback requirement. The Board would have the ability to relax these setbacks pursuant to §255-6-63 (*See attached*) if it found that this was in the interest of good planning. The standard for such are also attached. It is noted that the Town Code encourages and it has been a Planning Board policy not to place parking directly along the road in front of a building.

Existing structure is preexisting and nonconforming to setbacks. Proposed structure will be within setbacks on all sides.



Eastern edge (rear of proposed) of 44 Three Mile Harbor



Southern edge (proposed parking on property line) of 44 Three Mile Harbor

Underground Parking

Underground garages for commercial structures are not consistent with the surrounding character of the area of with other commercial development in the Town. Presently, the size of the building is tempered by maximum building and total coverage restrictions, which include parking areas. Providing parking below grade for commercial projects would allow for greater development. Underground garages are not consistent with Goal One of the Town's 2005 Comprehensive Plan that states that East Hampton's rural and semi-rural character should be maintained and restored where necessary.

An underground garage is also inconsistent with site plan standards. §255-6-60 A of the Town Code requires that extensive grading be avoided in site plan development. Constructing the ramp will require the removal of substantial soil. It appears that the bottom of the ramp is at an elevation of -10' where depth to groundwater in this area will be a potential issue.

Parking Calculations

Parking calculations provided on the plan indicate that 86 spaces are required, however it is noted that 87 spaces are required pursuant to §255-2-45 of the Town Code, 49 for the retail use, 30 for the office use, and 8 for the housing units. The plans show that only 59 of the 87 required spaces are being provided, 36 at grade and 23 below grade in an underground parking garage. This would result in the requirement for a significant variance from the Zoning Board of Appeals and a shortage in parking.

The Planning Department has noted that certain parts of the aisles for the vehicle parking at grade, and underground are fairly narrow and could make turning difficult for those maneuvering within the lots. Upon review, the certain spaces at grade and in the underground parking lot do not meet the proper design requirements pursuant to §255-11-43 Subsection C (*See attached*) Under the design requirements, all aisles within parking areas shall have a minimum width of 24 feet when the parking spaces are an a ninety-degree angle with the aisle. Other widths are recommended if parking spaces are proposed at different angles as mentioned further in the code. Given the aforementioned, it appears at least 4 of the proposed spaces at grade level, and at least 12 spaces within the underground parking lot do not meet the 24' width requirement for the parking aisle. This would result in a lesser number of spaces provided in addition to the proposal's current offering that does not meet the minimum parking requirement.

The proposal is short of their parking requirements, and will need to widen the aisle for vehicles to meet Town Code Design Standards.

Access Points and Navigation

The site plan has proposed two two-way access points (Enter/Exit) along the property line facing Three Mile Harbor Road. The northernmost access point will be located in close proximity under the minimum 75' as determined by §255-5-40 G. (*See attached*) to Oakview Highway and Jackson Street and will likely cause conflicts with traffic and safety with issues with turning movements. The nearby roads undergo heavy seasonal and commuter traffic as multiple vehicles of all sizes travel from the Village and up-island to the rest of East Hampton. The Planning Board may wish to consider asking the applicant to consider one access point, preferably on the Southern side to maximize the distance between the drivers and traffic intersections.

Access points will likely cause traffic due to their proximity to the Oakview Hwy and Jackson St. intersections. Consideration could be given to one access point located farthest away.



Proposed access is roughly before utility pole. Oakview Hwy (left) Jackson St. (right)

Landscaping

Upon review, the areas reserved for landscaping have minimal and limited space for plantings and screening. The front of the property proposes areas for a bioswale and native vegetation that is not specified. In addition, it is not within the property lines and is instead proposed on County Road 40 and will require approval from the Suffolk County Department of Public Works. An artist's rendition also includes plantings on the roof and wooden planters near the front of the building. Other areas include the rear and north of the site facing residences and a neighboring business, and an area around the proposed dumpster. The applicant should specify the type of landscaping proposed and provide a narrative on how they will maintain their landscaping given there is a small concrete wall that separates them and that the area around the dumpster is elevated and appears isolated.

A comprehensive site landscaping plan should be submitted. This plan must include the following elements:

- The location of existing and proposed vegetation including landscaping and areas of naturally-occurring vegetation (i.e un-cleared). The limits of existing clearing should be clearly illustrated.
- The location of screening, both vegetative and structural, such as fencing.
- A key which includes the following items:
 - Symbol or notation for each plant species

- Common and scientific (Latin) name for each plant species
- Quantity of plants
- Height of plants
- Spacing of plants

Type of plantings is unspecified. Most landscaping is on CR40 requiring County approval. There is little space along the sides for buffering and maintenance may be difficult.

Dumpster

It has been the Planning Board's policy to screen dumpsters with 6 ft. high screening or landscaping. The proposed dumpster area appears to be located below natural grade to a certain degree. The side facing the residences does not appear to have any proposed screening and will be located roughly 25 ft. away. The applicant should address concerns regarding their proposed dumpster area.

Lighting

No information pertaining to exterior lighting has been submitted. The proposed survey appears to have 10 light posts of an unknown height and brightness spread across the parking lot and well over 10 light fixtures attached to the building walls and in trellis overhangs. A comprehensive site lighting plan which meets all of the provisions of the Town Code as well as the Planning Board's Guidelines for Exterior Lighting should be submitted.

A comprehensive site lighting plan must include the following elements:

- Manufacturer's specification sheets for all proposed fixtures
- A photometric plot plan illustrating light incidence in foot-candles (fc) throughout the site. This plan shall include:
 - Location of all exterior light fixtures
 - Iso-foot-candle plots for the proposed fixtures if there are a limited number of fixtures. For many fixtures (more than four) or areas of overlap it may be necessary to include a point by point illuminance calculation as noted below
 - Point by point illuminance with foot-candle calculations in grid form at 10 foot intervals
 - A summary indicating maximum, minimum and average foot-candle levels throughout the site
 - Property line illuminance calculations in foot-candles
 - A key which contains the following items:
 - Symbol or notation for each fixture type
 - Description (brand and model name) of fixtures
 - Quantity of fixtures
 - Fixture type (e.g. incandescent, LED, high pressure sodium, etc.)
 - Wattage of fixtures
 - Initial lumens of fixtures
 - Mounting height of fixtures

- Control methods (e.g. motion sensor, timer, etc.)
- Color temperature (in degrees Kelvin)
- Light loss factor of fixtures

All exterior light fixtures must be fully shielded as the same is defined in section 255-1-20 of the Town Code (“light fixture, fully shielded”).

Suffolk County Department of Public Works

Landscaping beyond the property line, and curbs cuts for the proposed access ways will require review, and approval from the Suffolk County Department of Public Works. An application should be submitted to the Department of Public Works with their improvements and preliminary comments provided to the Board.

Sanitary

No existing or proposed sanitary plans or information has been submitted. A complete sanitary plan illustrating the location and design of the proposed sanitary system as well as complete calculations must be provided. As per §210-3-2 (*See attached*) an I/A low-nitrogen system would be required for the project.

It is noted that the Title Sheet (Sheet 00.01) provides a breakdown of the proposed uses. Based upon these calculations and the requirements of the Suffolk County Sanitary Code, the sum of the proposed uses would total a generated sanitary flow of 1,482 Gallons per day (GPD). The total allowable generated sanitary flow for this 0.8 acre parcel in Groundwater Management Zone V is 240 GPD and the site as a vacant parcel may be grandfathered for a flow of 300 GPD. It appears that the proposed project will require either a sewage treatment plant or a substantial variance from the Suffolk County Department of Health Services. The applicants are encouraged to submit an application to this agency as soon as possible if they have not already done so. In addition, the applicants should provide comments to the Board from the Suffolk County Department of Health Services regarding their maximum allowable sanitary flow.

Drainage and Grading

No additional drainage or runoff mitigation plans have been submitted at the time of review. Notable areas of potential flooding include the underground parking, the sloped paved driveway, and the parking spaces in the front. The test hole has indicated that ground water will be encountered 11.9 ft. from the surface. Spot elevations in the driveway have reached down as far as 10 ft. It is estimated at least 2 ft. will be needed for drainage structures putting the project in and close to ground water in multiple areas. The applicants should provide drainage structures in their project that will mitigate impacts from flooding and on the ground water.

No drainage plans and the project' close proximity to ground water will have an environmental impact.

Pyramid Variance

The proposed project will require a pyramid variance as a portion of the Northern side and Eastern side (Rear portion) will be within the pyramid line. It should be noted that submitted elevations in which the pyramid lines were drawn from are using undersized setbacks.

Site Plan Review

A certain list of plans that have been omitted in the original application submission should be submitted as part of Site Plan Review.

- Survey of existing buildings, structures and uses with lot area and floor area for each floor.
- Survey of existing sanitary and drainage plans
- Plan that displays all directional elevations (East & South, West & North)
- Plan that demonstrates the proposed project complies with the Pyramid Law

The Planning Board may wish to require that the applicant include the depiction of nearby residences under §255-6-50 (J) given the multiple close neighboring houses.

§255-6-50 Necessary elements of site plans

- **J.** Existing topography of the site and immediately adjacent property, as revealed by contours or key elevations as may be required by the Planning Board, and any proposed regrading of the site. The datum shall be in accordance with United States Coast and Geodetic Survey.

Office of Fire Prevention

The Planning Department has not yet received comments from the Chief Fire Marshall regarding fire safety or ADA compatibility at the time of review.

ARB

The proposed project will require the approval of the ARB and an application should be submitted to this agency as soon as possible if the applicants have not already done so. The building will have multiple overhangs, wooden benches and tables, glass windows, a roof top deck, solar panels, and brightly colored fiber cement boards. The parking lot will have two at grade parking spaces serviced by an EV charging port. These additions will have a significant impact on the community character of the surrounding area.

SEQRA

The project is an Unlisted Action pursuant to SEQRA and Chapter 128 of the Town Code. It is recommended that the Planning Board request lead agency status for the project.

Title of Plans

All plans submitted for this application, including but not limited to site plans, drainage plans, and landscaping and lighting plans, must be labeled with the title of the project. This title must be consistent with the title that the application was filed under unless an

official request is made to modify the application name. All correspondence submitted should also be consistent with this title. This consistency is essential for record keeping purposes and any plans not so labeled will be required to be revised accordingly.

Conclusion

In conclusion, based on the size and scope of the project and the irregular shape and size of the parcel, the project would require substantial variances. Variances to the maximum total coverage permitted, minimum front, rear, and side yard setbacks, the Pyramid Law, and the minimum number of parking spaces would be required. With a proposed coverage of 93% in a Neighborhood Business zoning district, underground parking, and significant grading on the site, the project is not consistent with site plan standards, zoning, or the goals of the Town’s Comprehensive Plan. Consideration should be given to revising the project to be more in keeping with these principles.

Variances Required

- Coverage Variance
- Setback Variances for Front, Rear, and Sides
- Pyramid Law Variance
- Parking Variance

Planning Board Consensus

Issue for discussion in the form of a question

Should the applicant provide additional detailed plans addressing, lighting, landscaping, elevations, drainage, and parking?

Additional comments: _____

Should the applicant lower their proposed total coverage?

Additional comments: _____

Should the Planning Board request lead agency status?

Additional comments: _____

Additional Board Comments:

§ 255-6-63. Accessory buildings and structures in business and commercial-industrial use districts. [Added 1-15-1996 by L.L. No. 19-1996]

Pursuant to Table IV of § 255-11-10 hereof, the Planning Board shall have power during site plan review to reduce the yard setbacks which would otherwise apply to accessory buildings and structures in business or commercial-industrial use districts. In making a determination to approve such reduced yard setbacks, the Planning Board shall find that doing so serves the interests of good planning. The Board shall consider in this regard:

- A. Size and shape of lot: the size and configuration of the lot on which the structures are proposed.
- B. Residential property: the proximity of the structures to residential property and the effect which the proposed structures might have on an existing or future residential use of that land.
- C. Coordinated development: the potential for coordinating development with adjacent property and the extent to which lessening the accessory structure setbacks might aid such coordination.
- D. Buffering and screening: the degree to which buffering or screening is necessary or can be provided for the structures.

§ 255-11-43 Design requirements of off-street accessory parking and truck loading areas.

- A. Site plan approval **required**. For all properties and uses subject to site plan review pursuant to Article VI, new accessory off-street parking and truck loading areas shall be located and established only as the same are indicated on a site plan duly approved by the Planning Board.
- B. Physical improvements. The physical improvements of off-street parking and truck loading areas shall include:
 - (1) Curbs, paving, sidewalks and drainage facilities complying with the standards established in this Code or the regulations of the Planning Board.
 - (2) Lighting of public parking areas adequate to assure general safety and convenience, while at the same time of such design as to avoid having light sources be visible from the street or across property lines.
 - (3) Screening appropriate to the protection of adjacent properties from automotive noise, fumes and visual impact.
- C. **Aisles**. Unless a different configuration shall be approved by the Planning Board during site plan review for reasons of sound planning and proper site layout, all aisles within parking areas shall have a minimum width of 24 feet when the parking spaces are at a ninety-degree angle with the aisle, 18 feet when the parking spaces are at a sixty-degree angle in a one-way direction with the aisle and 12 feet when the parking spaces are at a forty-five degree angle in a on-way direction with the aisle.
[Amended 3-15-1991 by L.L. No. 4-1991]
- D. Circulation. Aisles and turning areas shall provide good internal circulation with adequate radii to assure ease of mobility, ample clearance and convenient access and egress.
- E. Gradients. Center-line gradients of aisles shall not exceed 8%.
- F. Size of parking spaces. Parking spaces shall be marked off with a minimum width of 10 feet and a minimum length of 18 feet, or a minimum width of nine feet and a minimum length of 20 feet. In the case of parking spaces for trucks or special equipment, parking

spaces shall be of a minimum size to be determined by the Planning Board based upon the nature of the parked vehicles.

- G. Size of truck loading spaces. Truck loading spaces shall have a minimum width of 12 feet, a minimum length of 40 feet and a minimum clear height of 14 feet. The related aisles or driveways shall have the same minimum width and clear height

§ 255-5-40. **General standards.**

No special permit shall be granted unless the issuing board shall specifically find and determine that:

G. Circulation. Access facilities are adequate for the estimated traffic generated by the proposed use on public streets and sidewalks, so as to assure the public safety and to avoid traffic congestion; and, further, that vehicular entrances and exits shall be clearly visible from the street and not within 75 feet of the intersection of street lines at a street intersection, except under unusual circumstances.

§ 210-3-2. **Other requirements.** [Amended 8-8-2017 by L.L. No. 28-2017]

- A. All construction of sanitary systems shall conform to Standards for Sewage and Waste Disposal Systems, as then established by the Suffolk County Department of Health Services, to all applicable wetland setbacks of the New York State Department of Environmental Conservation and of the Town of East Hampton and all other applicable local, county and state regulations concerning the siting of such structures and systems. No building permit for any such work shall issue until all applicable provisions of the Town Code, including provisions of Chapter 255, Zoning, have been complied with.
- B. In addition to the conditions provided for in Subsection A, for all the following circumstances, the sanitary systems installed must be, or the current sanitary system must be upgraded to, a low-nitrogen sanitary system as defined in § 210-1-4:
- 1) All construction of new buildings and structures where a sanitary system did not previously exist;
 - 2) Any voluntary replacement of an existing sanitary system;
 - 3) All substantial expansion of existing structures as defined in § 255-1-20;
 - 4) All large-capacity cesspools mandated to upgrade pursuant to EPA regulations;
 - 5) All nonresidential properties that require site plan review pursuant to § 255-6-30B(2), (4) or (5).
- C. The Planning Board may issue an extension for compliance with the provisions of this section upon a showing of good cause. Good cause must be based upon a showing that compliance is impossible due to physical limitations and lack of an approved low-nitrogen sanitary system to address and accommodate such limitations. It is not good cause if a low-nitrogen sanitary system exists that would accommodate such limitations, but does not accommodate the site plan applicant's proposal to increase occupancy or use. Such extension shall not be granted until the Planning Board has received proof that the owner/applicant has recorded the following covenants and restrictions in the office of the Suffolk County Clerk. The covenants and restrictions must provide that:
- 1) The owner/applicant acknowledges that under the provisions of this section he/she is required to upgrade the sanitary system on the subject property as soon as possible; and

- 2) The owner/applicant seeks an extension to comply with the provisions of this section; and
- 3) Upon approval of a low-nitrogen sanitary system that can accommodate the physical limitations of the property, or upon availability of a community sanitary system that the subject property can hook up to, the owner/applicant must install the low-nitrogen sanitary system or hook up to the community sanitary system within one year of the availability of such option; and (4) Failure to comply with these covenants and restrictions may subject the owner/applicant to the penalties contained in the East Hampton Town Code, including, but not limited to, the revocation of the extension for compliance; and
- 4) This extension and these covenants and restriction run with the land, and to that end, all references herein to owner/ applicant shall be deemed to also refer to owner/applicant's successors in interest.

Goals of the Town's 2005 Comprehensive Plan

Goal One: Maintain, and restore where necessary, East Hampton's rural and semi-rural character and the unique qualities of each of East Hampton's historic communities.

Goal Two: Take forceful measures to protect and restore the environment, particularly groundwater. Reduce impacts of human habitation on ground water, surface water, wetlands, dunes, biodiversity, ecosystems, scenic resources, air quality, the night sky, noise and energy consumption.

Goal Three: Reduce the total build-out of the Town to protect the natural and cultural features identified in goals one and two.

Goal Four: Provide housing opportunities to help meet the needs of current year-round residents, their family members and senior citizens, seasonal employees, public employees, emergency services volunteers, and other local workers.

Goal Five: Encourage local businesses to serve the needs of the year-round population and reduce the environmental impacts of commercial and industrial uses.

Goal Six: Encourage and retain traditional local resource based fishing and agriculture industries that practice environmentally sensitive methods of operation.

Goal Seven: Protect historic buildings, hamlets, neighborhoods, landscapes and scenic vistas from incompatible development. Prevent further loss of the Town's cultural and archaeological resources.

Goal Eight: Coordinate with regional agencies, organizations and systems to reduce reliance on the automobile. Encourage investment in alternative transportation - including sidewalks, bikeways, rail, buses, shuttles, and "shared" cars - while maintaining the existing scale and character of community.

Goal Nine: Develop road, wastewater treatment, water, and power infrastructure, consistent with goals one through three, needed to reduce public health, safety and environmental risks.

Goal Ten: Provide adequate facilities, land and programs for schools, town offices and other functions, day care, senior care, families, and other educational, cultural, recreational and health care needs.

Goal Eleven: Commit to implementing the Comprehensive Plan.



CONCEPTUAL RENDERING 02: AERIAL VIEW LOOKING AT PROPOSED WEST ELEVATION



CONCEPTUAL RENDERING 01: SOUTH WEST PERSPECTIVE FROM STREET
ENTRY INTO PARKING LOT

SITE PLAN CILVAN REALTY

SITUATE

TOWN OF EAST HAMPTON

Town of East Hampton, Suffolk Co., N.Y.

Scale: 1"=20'

Zone: NB – Neighborhood Business

Fire District: East Hampton

School District: East Hampton

Flood Zone: X, Fema Panel 36103C0556H EFF. 9/25/09

Area = 34,962 Sq. Ft. or 0.803 Acres

Prepared For: Cilvan Realty LLC

3.0'	Mixed Sand Loam, Fines
4.0'	Dark Brown Loam OL
9.0'	Brown Silty Sand SM
11.9'	Pale Brown Fine Sand SP
18.9'	Water In Grayish Brown Sand SP (Order Septage)

Ground Water
Encountered
11.9' Below
Surface

TEST HOLE DATA
11/7/18
McDonald Geoscience

NOTE:

- 1) THE LOCATION OF CESSPOOLS, WELLS AND OTHER UNDERGROUND INSTALLATIONS, IF ANY, ARE SHOWN IN ACCORDANCE WITH SOURCES BELIEVED TO BE ACCURATE; HOWEVER, THIS OFFICE DOES NOT ASSUME RESPONSIBILITY FOR THEIR ACCURACY.
- 2) EXISTING SEPTIC TO BE ABANDONED BY REMOVAL AND/OR PUMPING AND FILLING WITH CLEAN SAND.
- 3) EXISTING WATER LINE TO BE ABANDONED.
- 4) EXISTING STRUCTURES SHOWN AS (---) ARE TO BE REMOVED OR DEMOLISHED.
- 5) PROPOSED STRUCTURES AS TAKEN FROM CAD DRAWING PREPARED BY PAMELA GLAZER ARCHITECT
- 6) ADDITIONAL (22) REGULAR + (2) HANDICAPPED PARKING SPACES PROPOSED UNDER BUILDING

KEY

- SIGN
- BR BRICK
- CB CATCH BASIN
- CC CONC. COVER
- CM CONC. MONUMENT
- DW DRY WELL
- EB ELECTRIC BOX
- EM ELECTRIC METER
- EOP EDGE OF PAVEMENT
- EODC EDGE OF CLEARING
- EV ELECTRIC VAULT
- GM GAS METER
- GV GAS VALVE
- HYD HYDRANT
- IR IRRIGATION BOX
- LB LIGHT BOX
- LP LEACHING POOL
- LTP LIGHT POST
- MC METAL COVER
- MHW MEAN HIGH WATER
- OH OVERHANG
- PL PROPERTY LINE
- PT PROPANE TANK
- S STEPS
- SP SLATE PAVERS
- ST SEPTIC TANK
- TB TELEPHONE BOX
- UB UTILITY BOX
- WM WATER METER
- WV WATER VALVE
- TBR TO BE REMOVED
- TL TRAFFIC LIGHT
- TP TELEPHONE POLE

COVERAGE
ALLOWED – 13,985 SF.
EXISTING – 5,903 SF.
PROPOSE – 11,026 SF.

TOTAL COVERAGE
ALLOWED – 24,473 SF.
EXISTING – 30,135 SF.
PROPOSED – 32,654 SF.

CLEARING
EXISTING – 31,049 SF.

NOTE:

- 1) Unauthorized alteration or addition to a survey map bearing a licensed surveyors seal is a violation of section 7209 of the New York State Education Law.
- 2) Only copies from the original of this survey map bearing an original land surveyor's inked seal or embossed seal shall be considered to be a valid copy.
- 3) Certifications indicated hereon shall run only to the person for whom the survey is prepared, and on his/her behalf to the title company, governmental agency and lending institution listed hereon. Certifications are not transferable to additional institutions or subsequent owners. Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for land surveyors adopted by the New York State Association of Professional Land Surveyors.
- 4) The existence of subsurface improvements or encroachments, or wetlands, or easements, covenants, or restrictions of record, if any, not shown are not certified.

Datum NAVD 88
S.C.T.M. 0300-161-04-9

chk'd daw: 8/10/2020

Revised: August 10, 2020 – Proposed
Revised: July 28, 2020 – Topo.
Revised: Feb. 20, 2019 – Update
Revised: Nov. 15, 1999 – Cert., Prop. Steps
Revised: Nov. 11, 1999 – Area Of Proposed & Prepared For
Revised: Nov. 5, 1999 – New Parking
Revised: Aug. 20, 1999 – Benches, Prop. Canopy & Parking
Map Prepared: April 20, 1999
Surveyed: Mar. 5, 1999

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