

1. July 8, 2020 Agenda

Documents:

[JULY 8 2020 PLANNING BOARD AGEND13128320200702142204.PDF](#)

2. Mosswood - Preliminary Subdivision

Documents:

[MOSSWOOD PRELIMINARY SD.PDF](#)

3. Twin Forks Mini Storage - Site Plan

4. Fischer Additons, Porch And Patio - Site Plan

Documents:

[FISCHER ADDITIONS PORCH AND PATIO SP.PDF](#)

5. Montauk Manor On-Site Restaurant - Site Plan

Documents:

[MONTAUK MANOR ON SITE RESTAURANT SP II.PDF](#)

6. Fenchel-Menzer - Site Plan

Documents:

[FENCHEL MENZER SP.PDF](#)

7. T-Mobile Northeast, LLC Home Sweet Home Wainscott Site Plan

Documents:

[T MOBILE NORTHEAST LLC HSH WAINSCOTT SP SP PWSF.PDF](#)
[T MOBILE PLANS.PDF](#)

8. Montauk Sunset Cottages - Site Plan

Documents:

[MONTAUK SUNSET COTTAGE SP13123020200702095135.PDF](#)

9. Emergency Services Communications Facility At Springs Fire Department - Site Plan

Documents:

[EMERGENCY SERVICES COMMUNICATION13124120200702105507.PDF](#)

10. NCW At St. Peter's Chapel PWSF

11. 180 SB LLC - Site Plan

Documents:

[180 SB LLC13126820200702120006.PDF](#)

**PLANNING BOARD
TOWN OF EAST HAMPTON**

AGENDA FOR MEETING OF:

July 8, 2020

Board of Review:

Planning Board:

REGULAR MEETING

SUBDIVISIONS:

Mosswood Preliminary

Extension of Time

Calder-Piedmonte/East Hampton

SUBWAIVER:

SITE PLAN:

Twin Forks Mini Storage
Fischer Additions, Porch and Patio
Montauk Manor On-Site Restaurant
Fenchel-Menzer

Modification
Extension of Time
Extension of Time
Extension of Time

Parsons/Wainscott
Cortese/Montauk
McCobb/Montauk
Cunningham/East Hampton

OTHER:

URBAN RENEWAL:

COMPREHENSIVE PLAN:

OLD FILED MAPS:

PUBLIC HEARINGS:

T-Mobile Northeast, LLC Home Sweet Home
Wainscott Site Plan/Special Permit/PWSF

Parsons/Wainscott

**PLANNING BOARD
TOWN OF EAST HAMPTON
WORK SESSION:
July 8, 2020**

SUBDIVISION REVIEW:

SUBWAIVER REVIEW:

SITE PLAN REVIEW:

Montauk Sunset Cottages
Emergency Services Communications Facility
at Springs Fire Department
NCW at St. Peter's Chapel PWSF
180 SB LLC

Parsons/Frank/Montauk

Cortese/Schantz/Springs
Parsons/Schantz/Springs
Cortese/Mubassirah/East Hampton

COMPREHENSIVE PLAN:

ZONE CHANGES:

OTHER:

OLD FILED MAPS:

**PLANNING BOARD OF THE TOWN OF EAST HAMPTON
EAST HAMPTON, NEW YORK**

In the Matter of the Application

of

**EXTENSION
OF TIME**

**MOSSWOOD
PRELIMINARY SUBDIVISION
SCTM #300-157-2-15.3, 16**

ADOPTED: ____/____/ 2020

1. By resolution adopted October 3, 2007, and subsequently extended May 12, 2010, October 20, 2010, April 13, 2011, November 16, 2011, April 18, 2012, June 5, 2013, May 7, 2014, April 22, 2016, April 6, 2016, April 26, 2017, April 11, 2018, and March 27, 2019; (the "Resolution"), the Planning Board granted preliminary subdivision approval to the above-mentioned application, subject to various conditions.

2. By letter dated April 24, 2020, Kenneth Schwenk, applicant, has informed the Planning Board that additional time is needed in order meet the conditions of the Planning Board Resolution, and has requested an extension of time.

3. Based upon the foregoing, the Planning Board hereby extends the time within which the applicant must comply with the conditions of the Board's resolution for a period of one year, or until April 3, 2021.

4. In all other respects, the original Resolution of approval as extended is hereby reaffirmed.

DATED: July 8, 2020

cc: Kenneth Schwenk
P.O. Box 402
Bridgehampton, NY 11932

Planning Department
Building Department

**PLANNING BOARD OF THE TOWN OF EAST HAMPTON
EAST HAMPTON, NEW YORK**

In the Matter of the Application

of

**EXTENSION
OF TIME**

**FISCHER ADDITIONS, PORCH AND PATIO
SITE PLAN
SCTM #300-17-1-10**

ADOPTED: ____/____/____

1. By resolution adopted August 25, 2010, and subsequently modified February 9, 2011, and extended June 27, 2012, June 26, 2013, August 6, 2014, June 10, 2015, May 11, 2016, and April 19, 2017; (the "Resolution"), the Planning Board granted site plan approval to the above-mentioned application, subject to various conditions.

2. By form dated received April 24, 2020, Britton Bistran, agent for the applicant, has informed the Planning Board that additional time is needed within which to obtain a certificate of occupancy and has requested an extension of time.

3. Based upon the foregoing, the Planning Board hereby extends the time within which the applicant must comply with the conditions of the Board's resolution in one year increments within which to obtain a certificate of occupancy, or until August 9, 2020.

4. In all other respects, the original Resolution of approval as extended is hereby reaffirmed.

DATED: July 8, 2020

cc: Britton Bistran
P.O. Box 2756
Amagansett, NY 11930

Planning Department
Building Department

**PLANNING BOARD OF THE TOWN OF EAST HAMPTON
EAST HAMPTON, NEW YORK**

In the Matter of the Application

of

**EXTENSION
OF TIME**

**MONTAUK MANOR
ON-SITE RESTAURANT
SITE PLAN
SCTM #300-27.2-1-1, 2**

ADOPTED: ____/____/2020

1. By resolution adopted June 14, 2017, (the "Resolution"), the Planning Board granted site plan approval to the above-mentioned application, subject to various conditions.

2. By letter dated June 10, 2020, Ashley Lherisson, agent for the applicant, has informed the Planning Board that additional time is needed within which to obtain a building permit and has requested an extension of time.

3. Based upon the foregoing, the Planning Board hereby extends the time within which the applicant must comply with the conditions of the Board's resolution for a period of one year within which to obtain a building permit, or until June 14, 2021.

4. In all other respects, the original Resolution of approval as extended is hereby reaffirmed.

DATED: July 8, 2020

cc: Marc H. Schneider, Esq.
Schneider Buchel, LLC
666 Old Country Road, Suite 412
Garden City, NY 11530

Planning Department
Building Department

**PLANNING BOARD OF THE TOWN OF EAST HAMPTON
EAST HAMPTON, NEW YORK**

In the Matter of the Application

of

**EXTENSION
OF TIME**

**FENCHEL/MENZER
SITE PLAN/SPECIAL PERMIT
SCTM #300-147-4-35**

ADOPTED: 9 / 18 / 19

1. By resolution adopted January 13, 2010, and subsequently extended July 28, 2010, January 19, 2011, July 27, 2011, February 1, 2012, August 8, 2012, July 24, 2013, August 6, 2014, August 19, 2015, September 28, 2016, October 4, 2017, June 27, 2018 and September 18, 2019; (the "Resolution"), the Planning Board granted site plan/special permit approval to the above-mentioned application, subject to various conditions.

2. By letter dated June 24, 2020, Jeanne Galante, agent for the applicant, has informed the Planning Board that additional time is needed within which to obtain a building permit and has requested an extension of time.

3. Based upon the foregoing, the Planning Board hereby extends the time within which the applicant must comply with the conditions of the Board's resolution for a period of one (1) year within which to obtain a building permit, or until July 13, 2021.

4. In all other respects, the original Resolution of approval as extended is hereby reaffirmed.

DATED: July 8, 2020

cc: Jeanne Galante
LPS
P.O. Box 1313
East Hampton, NY 11937

Planning Department
Building Department

PUBLIC HEARING NOTICE

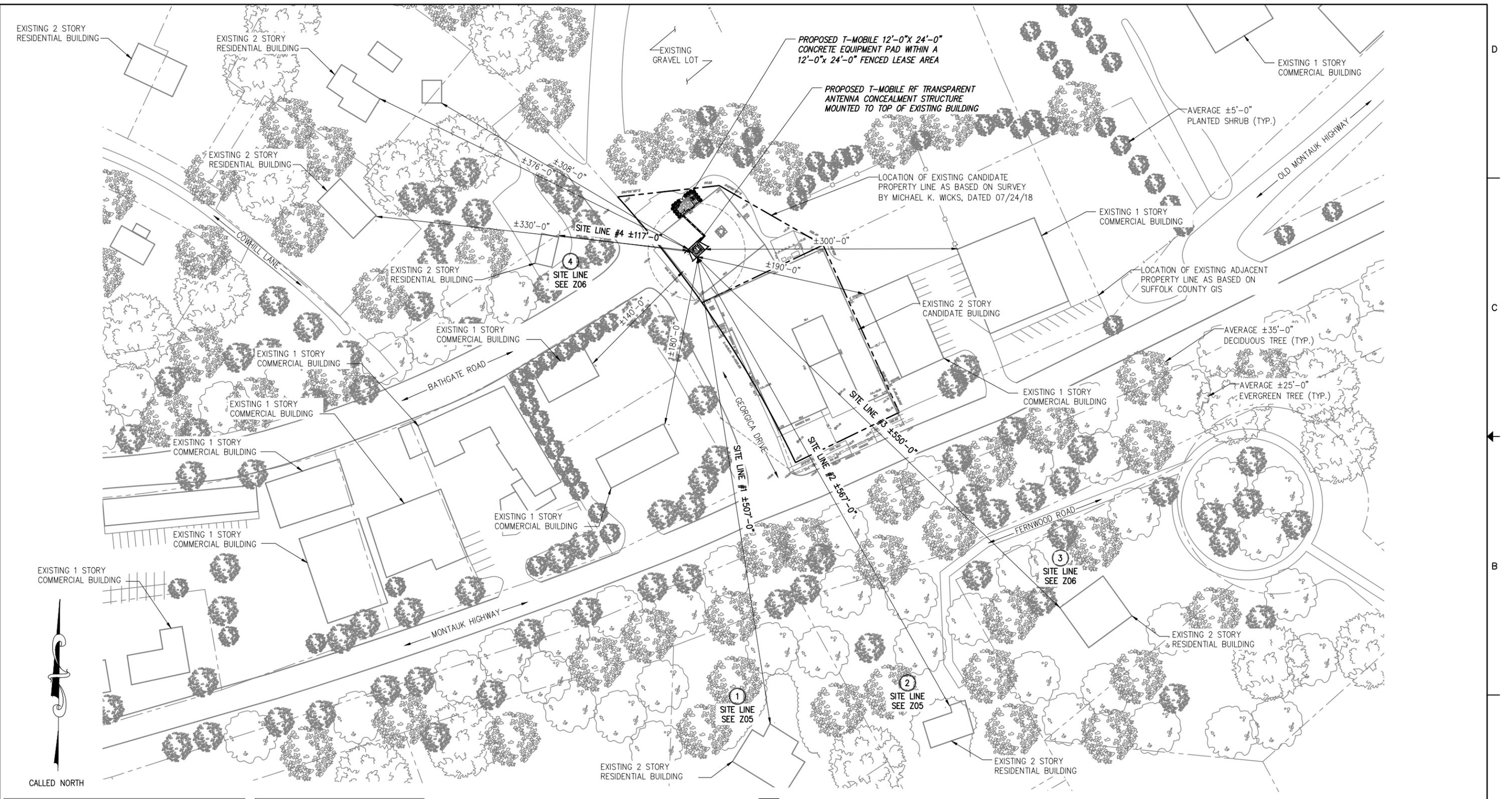
NOTICE IS HEREBY GIVEN that a public hearing will be held before the East Hampton Town Planning Board on Wednesday, July 8, 2020, at 7:00 p.m. or as soon thereafter as this matter may be heard to consider said application. The public hearing will be held electronically by video and teleconferencing, and will be televised on Local TV (LTV) Channel 22, and available for livestream on the LTV website (LTVEH.org). The public shall not be permitted to appear in person but may comment by telephone by calling 351-888-6331.

A transcript of the hearing will also be posted to the Town's website after the hearing and the hearing shall remain open until August 7, 2020 for the purpose of receiving written comments. Written comments may be submitted by e-mail directed to PlanningBoard@ehamptonny.gov and by mail to 300 Pantigo Place, Suite 103, East Hampton, NY 11937 and received on or before close of business on August 7, 2020 or within one (1) week of posting of the transcript on the Town's website, whichever is later.

The public hearing will be held to consider the application of T-Mobile Northeast, LLC Home Sweet Home Wainscott Site Plan/Special Permit/Personal Wireless Service Facility approval pursuant to Articles V and VI of Chapter 255 of the East Hampton Town Code, to construct a Personal Wireless Service Facility in in the form of sixteen (16) panel antennas, twenty-four (24) remote radio heads and a microwave to the located within a new rooftop cupola. Also proposed is a 288 square foot (12' x 24') fenced-in equipment area. The property contains 41,207 square feet (0.945 acre) and is located on the north side of Montauk Highway (4 Georgica Drive), Wainscott and is situate in a Commercial Industrial (CI) as shown on the official Zoning Map of the Town of East Hampton and is identified on the Suffolk County Tax Map as parcel #300-192-2-3.2. Subject application is classified as a Type II Action pursuant to the State Environmental Quality Review Act (SEQRA), Part 617 of the New York Code of Rules and Regulations, and Chapter 128 (Environmental Quality Review) of the Town Code. A survey prepared by Michael K. Wicks, Land Surveying, dated July 24, 2018; a set of plans prepared by Infinigy and From Zero to Infinigy, dated revised May 19, 2020 including: Site Plan (Z01), Vicinity Plan (Z01A), Enlarged Site Plan (Z02), Enlarged Site Plan (Z02A), Lighting Plan (Z02B), Details (Z03), Details (Z03A), Siting Elevations (Z04), Siting Elevations (Z04A), Siting Elevations (Z04B), Siting Elevations (Z04C), Site Lines (Z05), Site Lines (Z06), and Site Lines (Z06); and a set of plans prepared by Infinigy and From Zero to Infinigy dated June 22, 2018 including: General Notes (S-2), Site Plan (S-3), Roof Frame Plan (S-3), Copola Frame Details (S-5), Pyramid Roof Frame Details (S-6), Copola Details (S-7), Antenna Mounting Pipe Locations (S-8), Connection Details (S-9), and Details (S-1) are available for inspection at the Planning Board office, Suite 103, 300 Pantigo Place, East Hampton, New York.

DATED: June 17, 2020

Samuel Kramer, Chairman



SITE PLAN SHOWN IS BASED ON INFORMATION PROVIDED BY HIGHLANDER INC. AND A SURVEY PROVIDED BY MICHAEL K. WICKS LAND SURVEYING DATED 07/24/18. EXISTING VEGETATION AND ADJACENT STRUCTURES OBTAINED BY AERIAL PHOTOGRAPHS AND DIMENSIONS SHOWN ARE APPROXIMATE.

AVERAGE VEGETATION HEIGHT OF ±30'-0" TYPE OF VEGETATION IS A MIX OF DECIDUOUS AND EVERGREEN TREES. LIGHT SHRUB COVER ALONG ROADWAYS.

1 SITE PLAN
Z01 SCALE: AS NOTED

25' 0 25' 50' 100'
(IN FEET)
SCALE: 22"x34" SHEET 1" = 50'-0"
SCALE: 11"x17" SHEET 1" = 100'-0"

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www.infinigy.com

T-Mobile
T-MOBILE NORTHEAST LLC
3500 SUNRISE HIGHWAY
GREAT RIVER, NY 11739

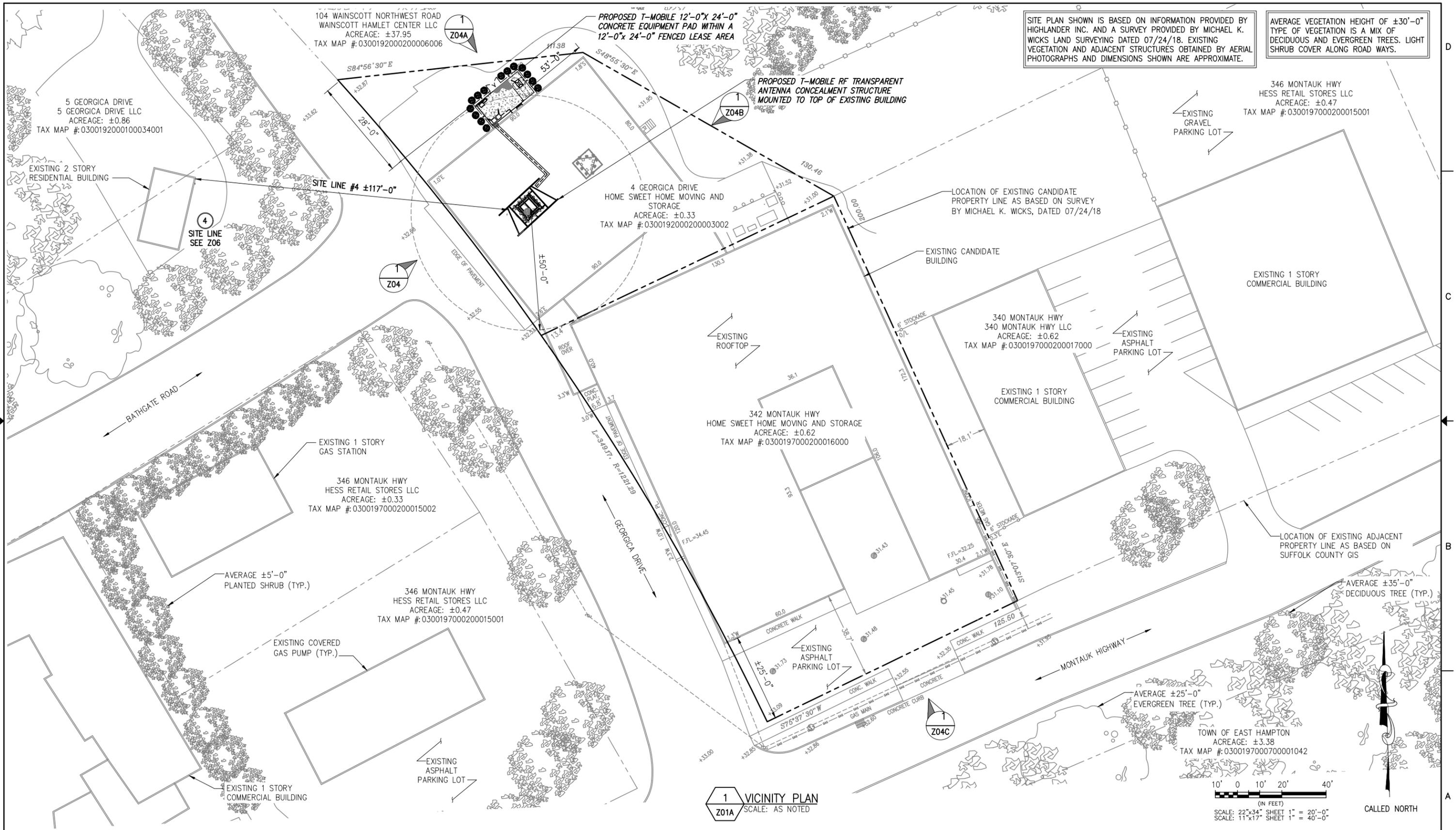
HOME SWEET HOME WAINSCOTT
342 MONTAUK HIGHWAY
WAINSCOTT, NY 11975
1059-C0002-C (544-002)

8	05/19/20	REVISED PER COMMENTS	MAP	ASW	ASW
7	04/13/20	REVISED PER COMMENTS	BMM	MPS	AJD
6	01/09/20	REVISED PER COMMENTS	BMM	MPS	AJD
5	11/27/19	REVISED PER COMMENTS	BMM	MPS	AJD
4	10/18/19	REVISED PER COMMENTS	SKB	MPS	AJD
NO	DATE	REVISIONS	BY	CHK	APP'D
SCALE:		DESIGNED:	DRAWN:		



SITE PLAN
TOWN OF WAINSCOTT/SUFFOLK COUNTY TAX MAP NUMBER
#0300-197-02-16 & 0300-192-02-3.2

JOB #	SITE #	DRAWING NUMBER	REV
		Z01	8



SITE PLAN SHOWN IS BASED ON INFORMATION PROVIDED BY HIGHLANDER INC. AND A SURVEY PROVIDED BY MICHAEL K. WICKS LAND SURVEYING DATED 07/24/18. EXISTING VEGETATION AND ADJACENT STRUCTURES OBTAINED BY AERIAL PHOTOGRAPHS AND DIMENSIONS SHOWN ARE APPROXIMATE.

AVERAGE VEGETATION HEIGHT OF ±30'-0" TYPE OF VEGETATION IS A MIX OF DECIDUOUS AND EVERGREEN TREES. LIGHT SHRUB COVER ALONG ROADWAYS.

1 VICINITY PLAN
Z01A SCALE: AS NOTED

10' 0' 10' 20' 40'
(IN FEET)

SCALE: 22"x34" SHEET 1" = 20'-0"
SCALE: 11"x17" SHEET 1" = 40'-0"

CALLED NORTH

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GREAT RIVER, NY 11739

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342 MONTAUK HIGHWAY
WAINSCOTT, NY 11975
1059-C0002-C (544-002)

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5	11/27/19	REVISED PER COMMENTS	BMM	MPS	AJD
4	10/18/19	REVISED PER COMMENTS	SKB	MPS	AJD
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE:		DESIGNED:	DRAWN:		



VICINITY PLAN

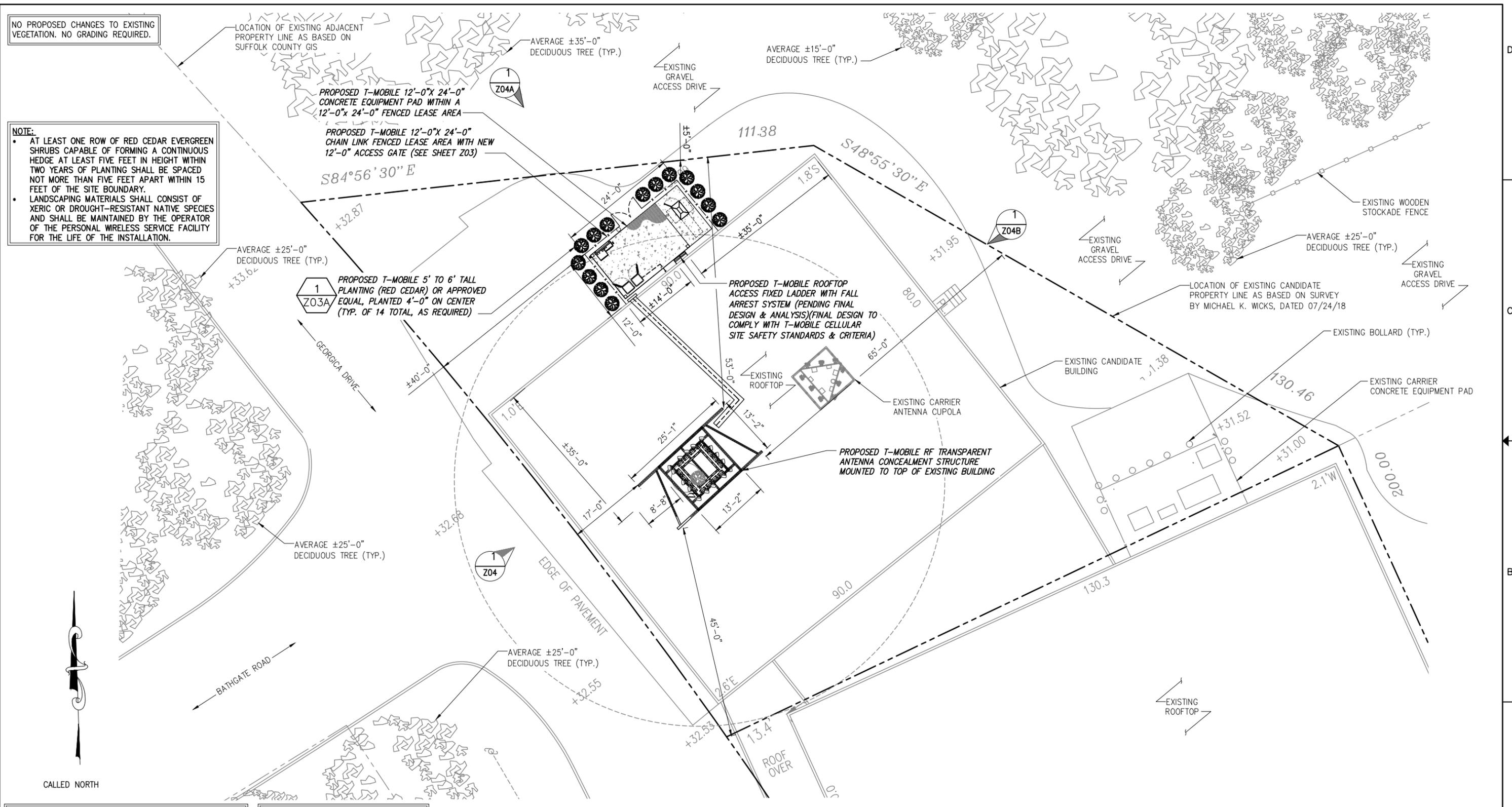
TOWN OF WAINSCOTT/SUFFOLK COUNTY TAX MAP NUMBER
#0300-197-02-16 & 0300-192-02-3.2

JOB #	SITE #	DRAWING NUMBER	REV
		Z01A	8

NO PROPOSED CHANGES TO EXISTING VEGETATION. NO GRADING REQUIRED.

NOTE:

- AT LEAST ONE ROW OF RED CEDAR EVERGREEN SHRUBS CAPABLE OF FORMING A CONTINUOUS HEDGE AT LEAST FIVE FEET IN HEIGHT WITHIN TWO YEARS OF PLANTING SHALL BE SPACED NOT MORE THAN FIVE FEET APART WITHIN 15 FEET OF THE SITE BOUNDARY.
- LANDSCAPING MATERIALS SHALL CONSIST OF XERIC OR DROUGHT-RESISTANT NATIVE SPECIES AND SHALL BE MAINTAINED BY THE OPERATOR OF THE PERSONAL WIRELESS SERVICE FACILITY FOR THE LIFE OF THE INSTALLATION.



SITE PLAN SHOWN IS BASED ON INFORMATION PROVIDED BY HIGHLANDER INC. AND A SURVEY PROVIDED BY MICHAEL K. WICKS LAND SURVEYING DATED 07/24/18. EXISTING VEGETATION AND ADJACENT STRUCTURES OBTAINED BY AERIAL PHOTOGRAPHS AND DIMENSIONS SHOWN ARE APPROXIMATE.

AVERAGE VEGETATION HEIGHT OF ±30'-0" TYPE OF VEGETATION IS A MIX OF DECIDUOUS AND EVERGREEN TREES. LIGHT SHRUB COVER ALONG ROAD WAYS.

1 ENLARGED SITE PLAN
SCALE: AS NOTED

5' 0 5' 10' 20'
(IN FEET)
SCALE: 22"x34" SHEET 1" = 10'-0"
SCALE: 11"x17" SHEET 1" = 20'-0"

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GREAT RIVER, NY 11739

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342 MONTAUK HIGHWAY
WAINSCOTT, NY 11975
1059-C0002-C (544-002)

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7	04/13/20	REVISED PER COMMENTS	BMM	MPS	AJD
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5	11/27/19	REVISED PER COMMENTS	BMM	MPS	AJD
4	10/18/19	REVISED PER COMMENTS	SKB	MPS	AJD
NO	DATE	REVISIONS	BY	CHK	APP'D
SCALE:		DESIGNED:	DRAWN:		



ENLARGED SITE PLAN

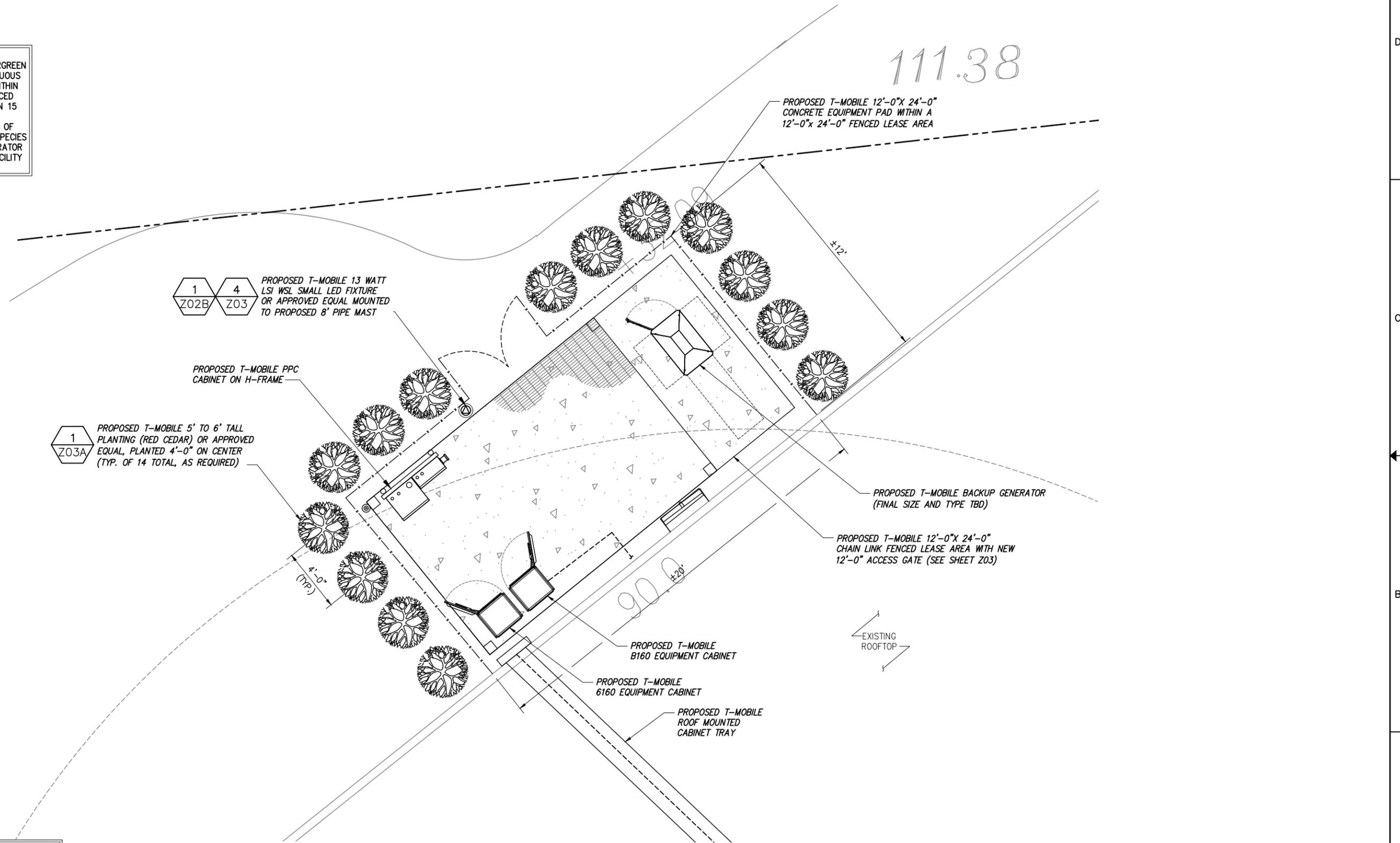
TOWN OF WAINSCOTT/SUFFOLK COUNTY TAX MAP NUMBER
#0300-197-02-16 & 0300-192-02-3.2

JOB #	SITE #	DRAWING NUMBER	REV
		Z02	8

NO PROPOSED CHANGES TO EXISTING VEGETATION. NO GRADING REQUIRED.

NOTE:

- AT LEAST ONE ROW OF RED CEDAR EVERGREEN SHRUBS CAPABLE OF FORMING A CONTINUOUS HEDGE AT LEAST FIVE FEET IN HEIGHT WITHIN TWO YEARS OF PLANTING SHALL BE SPACED NOT MORE THAN FIVE FEET APART WITHIN 15 FEET OF THE SITE BOUNDARY.
- LANDSCAPING MATERIALS SHALL CONSIST OF XERIC OR DROUGHT-RESISTANT NATIVE SPECIES AND SHALL BE MAINTAINED BY THE OPERATOR OF THE PERSONAL WIRELESS SERVICE FACILITY FOR THE LIFE OF THE INSTALLATION.



SITE PLAN SHOWN IS BASED ON INFORMATION PROVIDED BY HIGHLANDER INC. AND A SURVEY PROVIDED BY MICHAEL K. WICKS LAND SURVEYING DATED 07/24/18. EXISTING VEGETATION AND ADJACENT STRUCTURES OBTAINED BY AERIAL PHOTOGRAPHS AND DIMENSIONS SHOWN ARE APPROXIMATE.

1 ENLARGED EQUIPMENT PLAN
Z02A SCALE: AS NOTED

1.5' 0 1.5' 3' 6'
(IN FEET)
SCALE: 22"x34" SHEET 1" = 3'-0"
SCALE: 11"x17" SHEET 1" = 6'-0"

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1059-C0002-C (544-002)

8	05/19/20	REVISED PER COMMENTS	MAP	ASW	ASW
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5	11/27/19	REVISED PER COMMENTS	BMM	MPS	AJD
4	10/18/19	REVISED PER COMMENTS	SKB	MPS	AJD
NO	DATE	REVISIONS	BY	CHK	APP'D
SCALE:		DESIGNED:	DRAWN:		



ENLARGED SITE PLAN

TOWN OF WAINSCOTT/SUFFOLK COUNTY TAX MAP NUMBER
#0300-197-02-16 & 0300-192-02-3.2

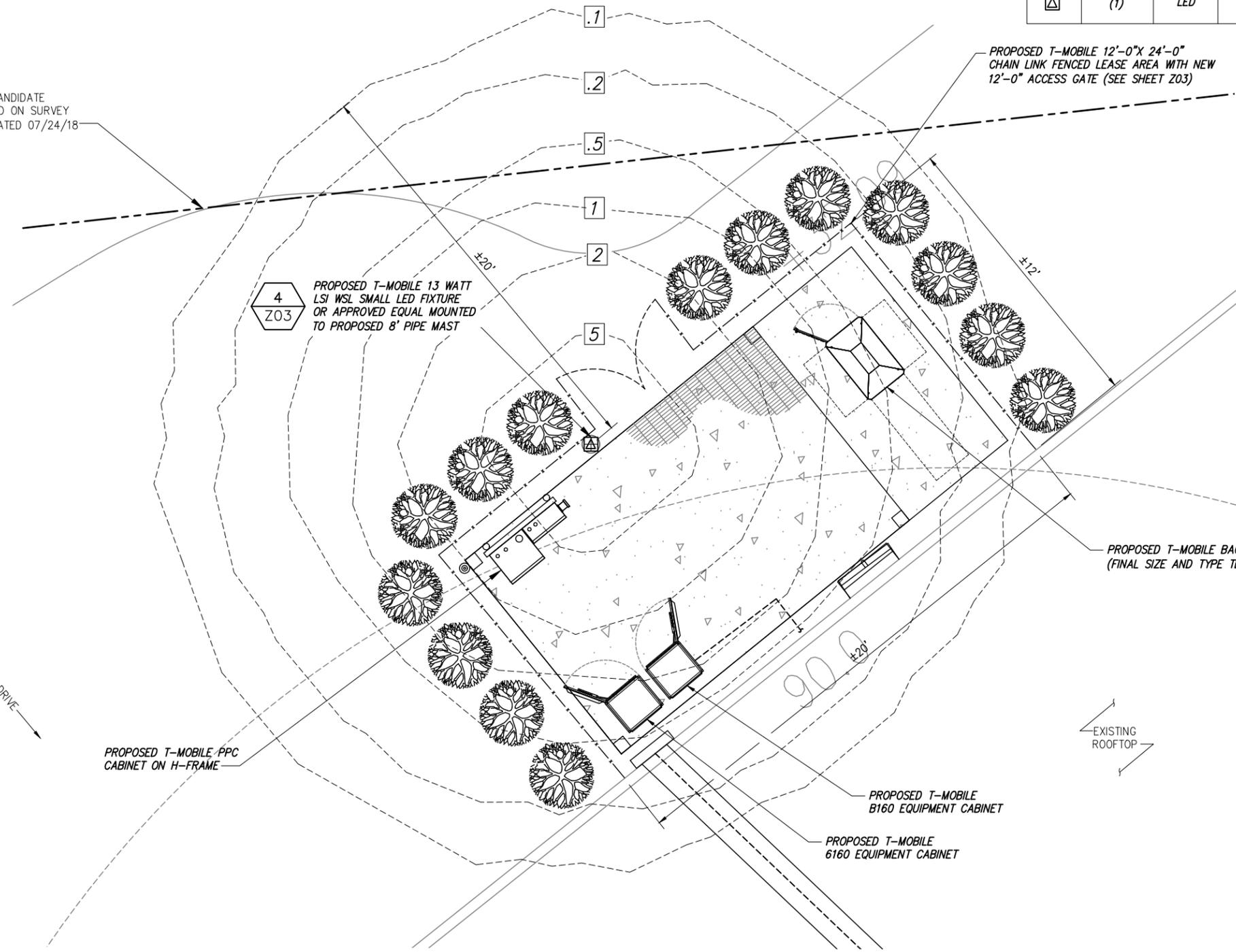
JOB #	SITE #	DRAWING NUMBER	REV
		Z02A	8

NO PROPOSED CHANGES TO EXISTING VEGETATION. NO GRADING REQUIRED.

LIGHTING SCHEDULE										
SYMBOL	QUANTITY	BULB TYPE	WATTAGE	LUMENS	HEIGHT	LLF	DESCRIPTION	PHOTOMETRIC DIST TYPE	TYPE OF CONTROL	COLOR LEVEL
	(1)	LED	13	1629	8'	(1)	LSI WLS SMALL LED WALL/POST LIGHT	FULL CUT-OFF	TIMER (30 MINS.)	3000K

MOUNTING HEIGHT	RECOMMENDED FIXTURE LUMEN MAXIMUM
6'-0"	1000 LUMENS
8'-0"	600-1600 LUMENS
10'-0"	1000-2500 LUMENS
12'-0"	1600-2500 LUMENS

LOCATION OF EXISTING CANDIDATE PROPERTY LINE AS BASED ON SURVEY BY MICHAEL K. WICKS, DATED 07/24/18



GEORGICA DRIVE



CALLED NORTH

SITE PLAN SHOWN IS BASED ON INFORMATION PROVIDED BY HIGHLANDER INC. AND A SURVEY PROVIDED BY MICHAEL K. WICKS LAND SURVEYING DATED 07/24/18. EXISTING VEGETATION AND ADJACENT STRUCTURES OBTAINED BY AERIAL PHOTOGRAPHS AND DIMENSIONS SHOWN ARE APPROXIMATE.

1 LIGHTING PLAN
202B SCALE: AS NOTED

1.5' 0 1.5' 3' 6'
(IN FEET)
SCALE: 22"x34" SHEET 1" = 3'-0"
SCALE: 11"x17" SHEET 1" = 6'-0"

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NO	DATE	REVISIONS	BY	CHK	APP'D
8	05/19/20	REVISED PER COMMENTS	MAP	ASW	ASW
7	04/13/20	REVISED PER COMMENTS	BMM	MPS	AJD
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5	11/27/19	REVISED PER COMMENTS	BMM	MPS	AJD
4	10/18/19	REVISED PER COMMENTS	SKB	MPS	AJD

SCALE: DESIGNED: DRAWN:



LIGHTING PLAN
TOWN OF WAINSCOTT/SUFFOLK COUNTY TAX MAP NUMBER
#0300-197-02-16 & 0300-192-02-3.2

JOB #	SITE #	DRAWING NUMBER	REV
		202B	8

6

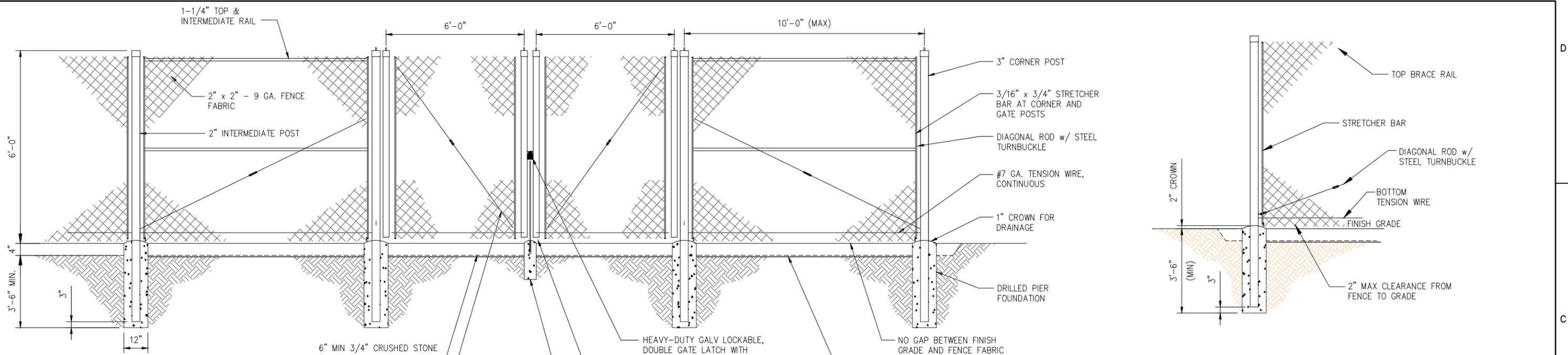
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4

3

2

1

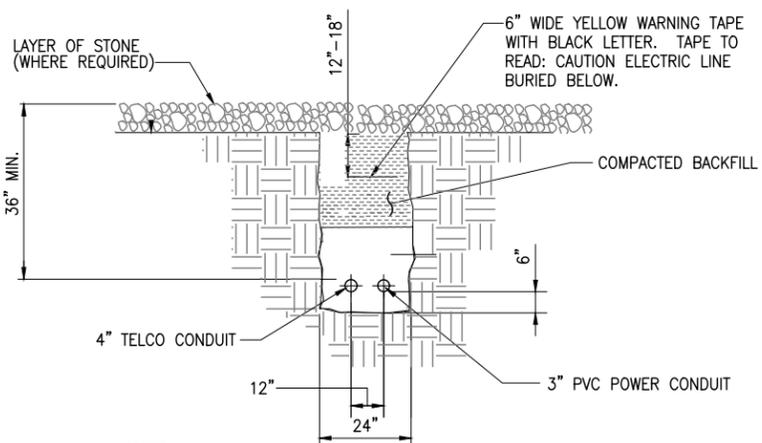


NOTE:

1. ALTERNATE FOOTINGS FOR ALL FENCE POSTS IN ROCK: IF ROCK IS ENCOUNTERED AT GRADE, OR AT A DEPTH SHALLower THAN 3'-6", CORE DRILL AN 8" DIA HOLE 18" INTO THE ROCK. CENTER POST IN THE HOLE AND FILL WITH CONCRETE OR GROUT. IF ROCK IS BELOW FINISH GRADE, COAT BACKFILLED SECTION OF POST WITH COAL TAR, AND BACKFILL WITH WELL-DRAINING GRAVEL.
2. ATTACH EACH GATE WITH 3 NON-LIFT-OFF TYPE, MALLEABLE IRON OR FORGING, PIN-TYPE HINGES. ASSEMBLIES SHALL ALLOW FOR 180° OF GATE TRAVEL. (THREE POINT HINGE)

1 DOUBLE SWING ACCESS GATE DETAIL
SCALE: N.T.S.

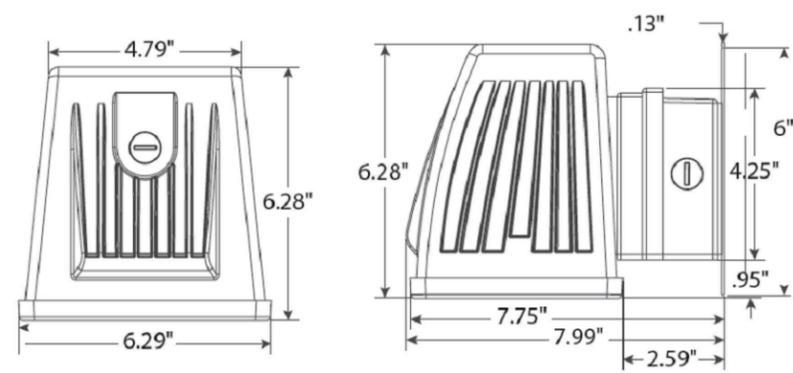
2 CHAIN LINK FENCE DETAIL
SCALE: N.T.S.



NOTES:

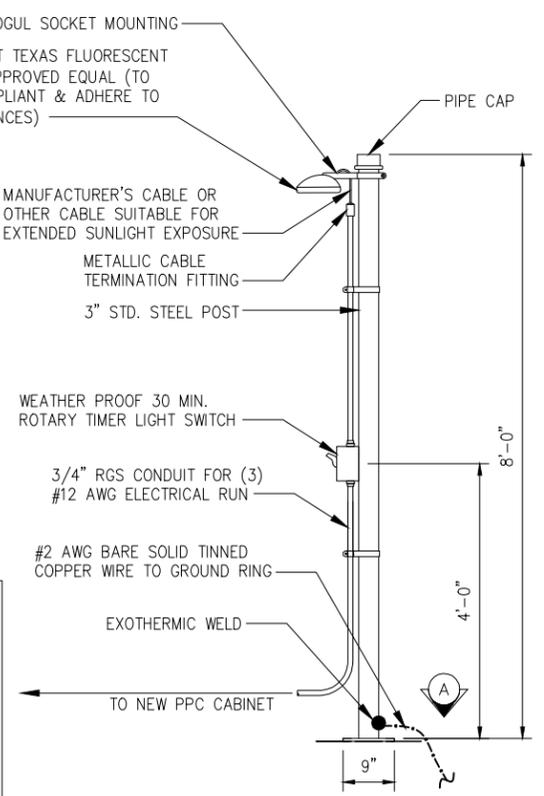
1. ALL UNDERGROUND PRIMARY CABLE SHALL BE MARKED IN THE TRENCH USING MARKING TAPE, PROVIDED BY UTILITY COMPANY.
2. THE MARKING TAPE SHALL BE PLACED APPROXIMATELY 12 INCHES TO 18 INCHES BELOW FINISHED GRADE AS SHOWN, WHILE BACKFILLING CABLE TRENCH.
3. SELECTED BACKFILL OF ROCK-FREE SOIL SHALL BE PLACED IN 6 INCH LAYERS AT A TIME AND EACH LAYER WELL TAMPED.
4. MINIMUM 36" COVER OVER CONDUIT.

3 CONDUIT TRENCH DETAIL
SCALE: N.T.S.



NOTE:

1. STANDARD AND LOW VOLTAGE LIGHTING THAT IS DESIGNED TO ILLUMINATE FOLIAGE, PATHWAYS, AND LANDSCAPE FEATURES THAT DO NOT EXCEED 550 INITIAL LUMENS (APPROXIMATELY 40 WATTS INCANDESCENT) PER FIXTURE OF A RESIDENTIAL LOT. DRIVEWAY STANCHION LOCATED WITHIN FIVE FEET OF THE PROPERTY LINE MUST NOT EXCEED 200 LUMENS (25 WATTS INCANDESCENT)
2. PROPOSED LIGHT FIXTURE TO MAINTAIN A COLOR TEMPERATURE OF 3,000 KELVIN (K) OR LESS.
3. NO LIGHT SOURCE, AS DEFINED IN S.255-1-20, SHALL BE VISIBLE BEYOND THE BOUNDARY OF THE PROPERTY ON WHICH THE LIGHT SOURCE IS LOCATED, INCLUDING FROM A BODY OF WATER OR ROADWAY, HOUSE LIGHTS, AS DEFINED IN S.255-1-20, TEMPORARY LIGHTING, AS DEFINED IN S.255-1-20, AND LANDSCAPE LIGHTING AS DEFINED IN S.255-1-20, SHALL BE EXEMPT FROM THIS PROVISION. ALL LIGHTING NOT SPECIFICALLY EXEMPTED HEREIN SHALL BE FULLY SHIELDED

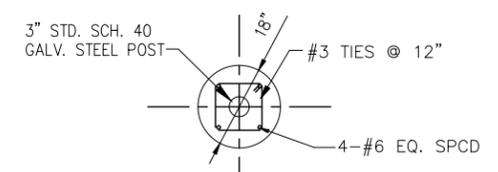


4 SITE LIGHT DETAIL
NOT TO SCALE

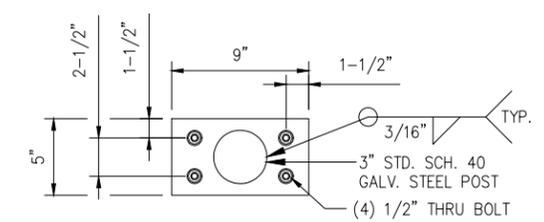
NOTE:
PROPOSED SITE EQUIPMENT LIGHTS TO BE COMPLIANT WITH DARK SKY LAW AND LOCAL MUNICIPAL ORDINANCES

NOTE:
PROPOSED LIGHT TO BE CONNECTED TO AUTOMATIC TIMER AND BE SET TO TURN OFF WITHIN 30 MINUTES OF THE INITIAL TURN ON.

NOTE:
POLE HEIGHT SHALL BE NO GREATER THAN FOUR TIMES THE DISTANCE TO THE PROPERTY LINE



SECTION A - OPTION 1



SECTION A - OPTION 2

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1059-C0002-C (544-002)

NO	DATE	REVISIONS	BY	CHK	APP'D
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5	11/27/19	REVISED PER COMMENTS	BMM	MPS	AJD
4	10/18/19	REVISED PER COMMENTS	SKB	MPS	AJD

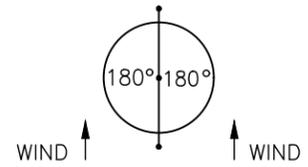
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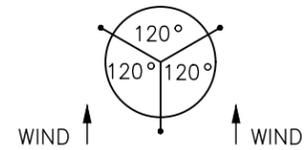
DETAILS

TOWN OF WAINSCOTT/SUFFOLK COUNTY TAX MAP NUMBER
#0300-197-02-16 & 0300-192-02-3.2

JOB #	SITE #	DRAWING NUMBER	REV
		Z03	8

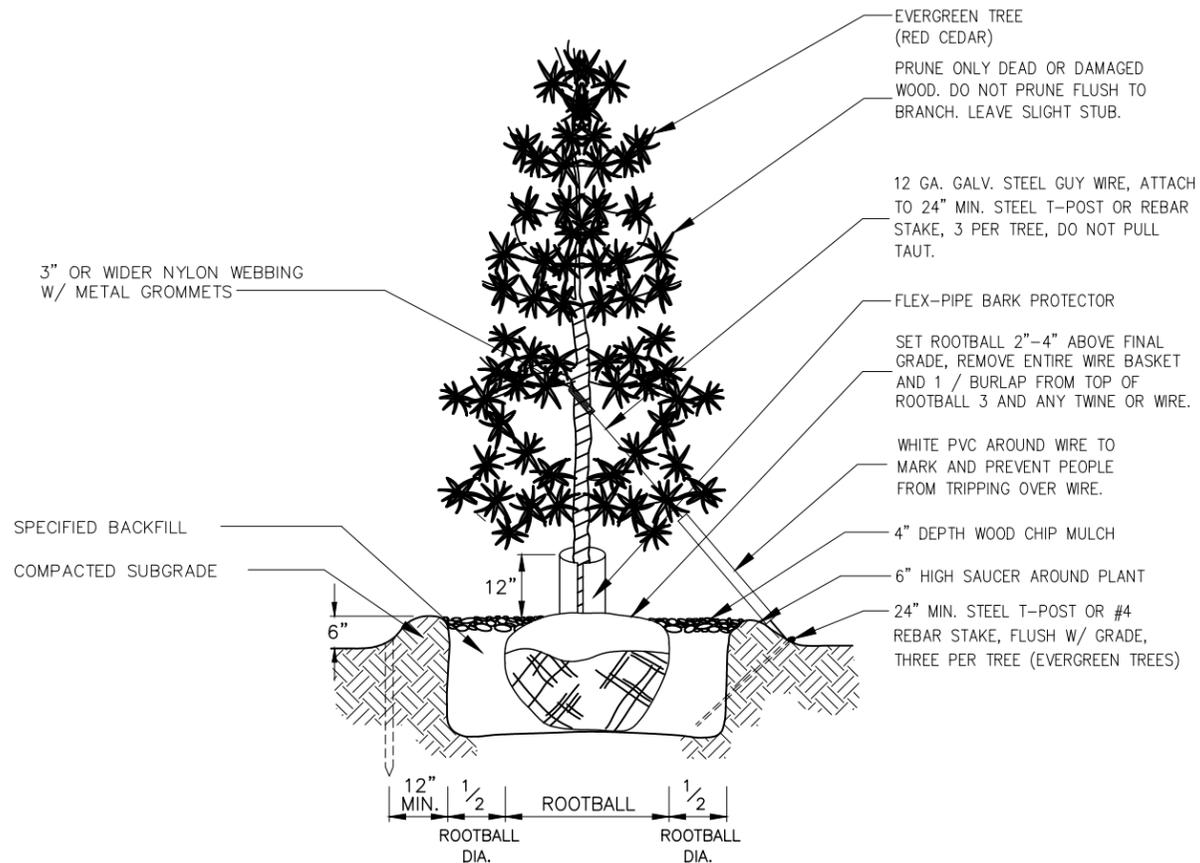


GUYING PATTERN
FOR DECIDUOUS TREE
PLANTING



FOR TREES ON 4:1 OR STEEPER
SLOPES, PLACE 2 GUY'S UPSLOPE,
ONE DOWNSLOPE; OTHERWISE
PLACE FOR PREVAILING WIND.

GUYING PATTERN
FOR EVERGREEN TREE
PLANTING



NOTE:

- AT LEAST ONE ROW OF RED CEDAR EVERGREEN SHRUBS CAPABLE OF FORMING A CONTINUOUS HEDGE AT LEAST FIVE FEET IN HEIGHT WITHIN TWO YEARS OF PLANTING SHALL BE SPACED NOT MORE THAN FIVE FEET APART WITHIN 15 FEET OF THE SITE BOUNDARY.
- LANDSCAPING MATERIALS SHALL CONSIST OF XERIC OR DROUGHT-RESISTANT NATIVE SPECIES AND SHALL BE MAINTAINED BY THE OPERATOR OF THE PERSONAL WIRELESS SERVICE FACILITY FOR THE LIFE OF THE INSTALLATION.

1 EVERGREEN TREE PLANTING AND GUYING DETAIL
SCALE: N.T.S.

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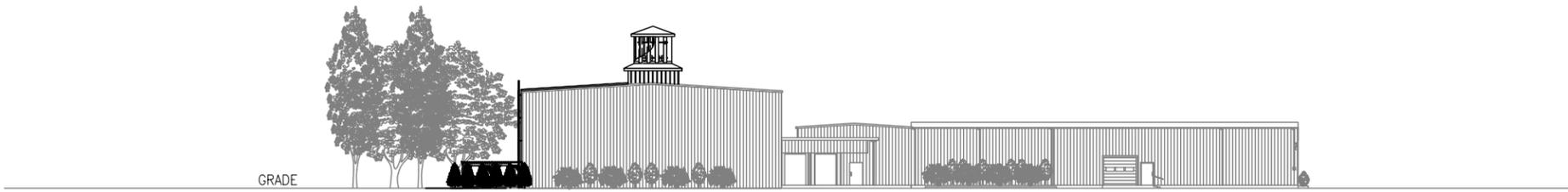


05-19-2020

DETAILS

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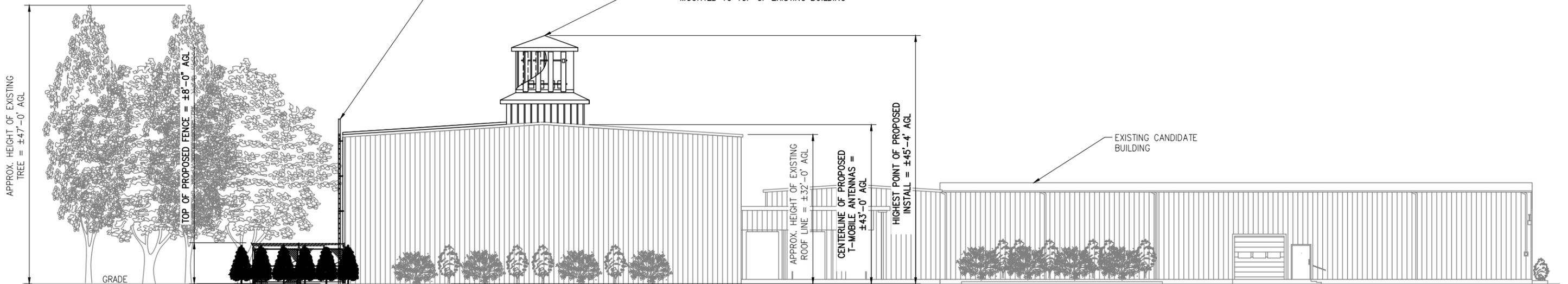
JOB #	SITE #	DRAWING NUMBER	REV
		Z03A	8



1 WEST ELEVATION
 SCALE: 22"x34" SHEET 1/8" = 1'-0"
 SCALE: 11"x17" SHEET 1/4" = 1'-0"

PROPOSED T-MOBILE ROOFTOP ACCESS FIXED LADDER ON REAR OF BUILDING WITH FALL ARREST SYSTEM (TO BE LOCKED)(PENDING FINAL DESIGN & ANALYSIS)(FINAL DESIGN TO COMPLY WITH T-MOBILE CELLULAR SITE SAFETY STANDARDS & CRITERIA)

PROPOSED T-MOBILE RF TRANSPARENT ANTENNA CONCEALMENT STRUCTURE MOUNTED TO TOP OF EXISTING BUILDING



PROPOSED T-MOBILE 12'-0" X 24'-0" CONCRETE EQUIPMENT PAD WITHIN A 12'-0" X 24'-0" FENCED LEASE AREA

2 WEST ELEVATION
 SCALE: AS PROVIDED

5' 0' 5' 10' 20'
 (IN FEET)
 SCALE: 22"x34" SHEET 1" = 10'-0"
 SCALE: 11"x17" SHEET 1" = 20'-0"

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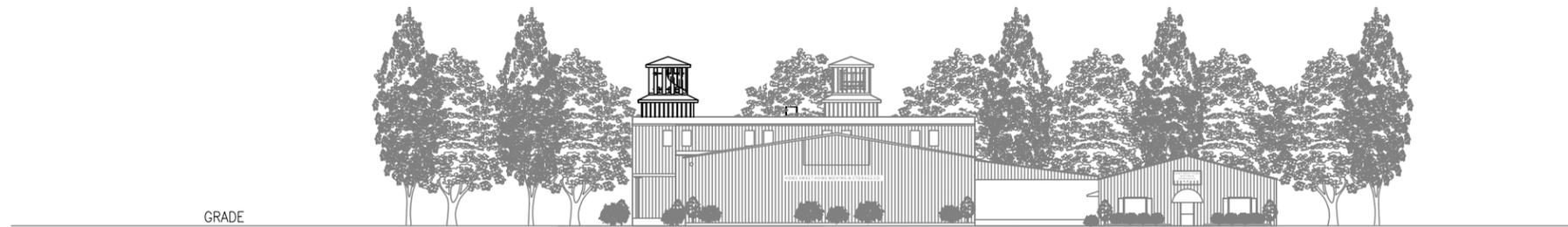
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4	10/18/19	REVISED PER COMMENTS	SKB	MPS	AJD
SCALE:		DESIGNED:	DRAWN:		



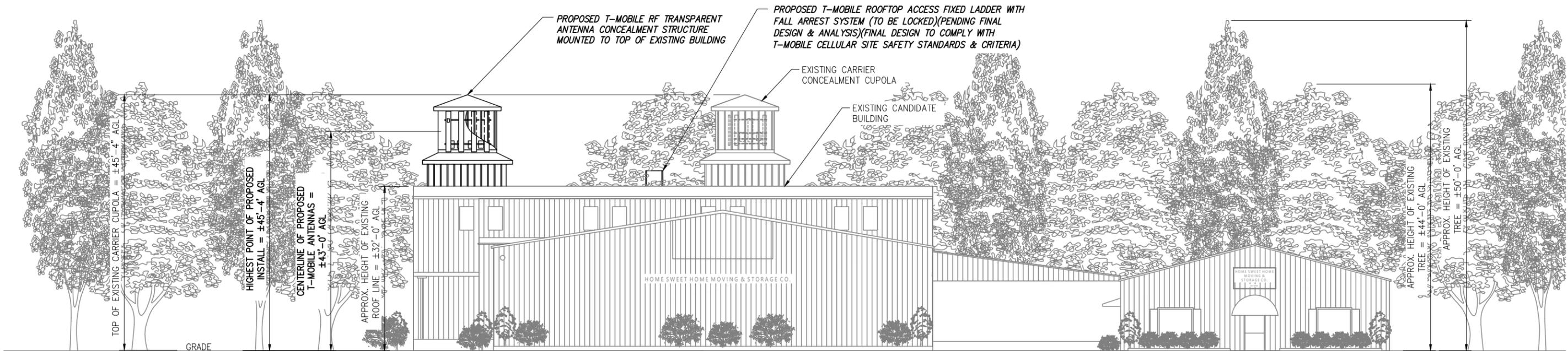
SITING ELEVATIONS

TOWN OF WAINSCOTT/SUFFOLK COUNTY TAX MAP NUMBER
 #0300-197-02-16 & 0300-192-02-3.2

JOB #	SITE #	DRAWING NUMBER	REV
		Z04	8



1 SOUTH ELEVATION
 SCALE: 22"x34" SHEET 1/8" = 1'-0"
 SCALE: 11"x17" SHEET 1/4" = 1'-0"



2 SOUTH ELEVATION
 SCALE: AS PROVIDED

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4	10/18/19	REVISED PER COMMENTS	SKB	MPS	AJD
SCALE:		DESIGNED:	DRAWN:		



SITING ELEVATIONS

TOWN OF WAINSCOTT/SUFFOLK COUNTY TAX MAP NUMBER
 #0300-197-02-16 & 0300-192-02-3.2

JOB #	SITE #	DRAWING NUMBER	REV
		Z04B	8

6

5

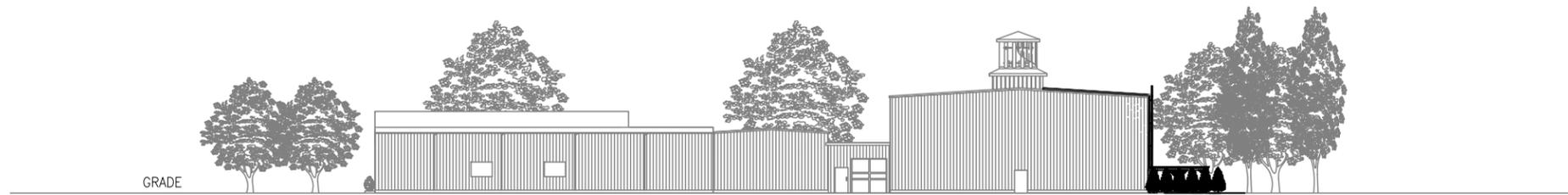
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3

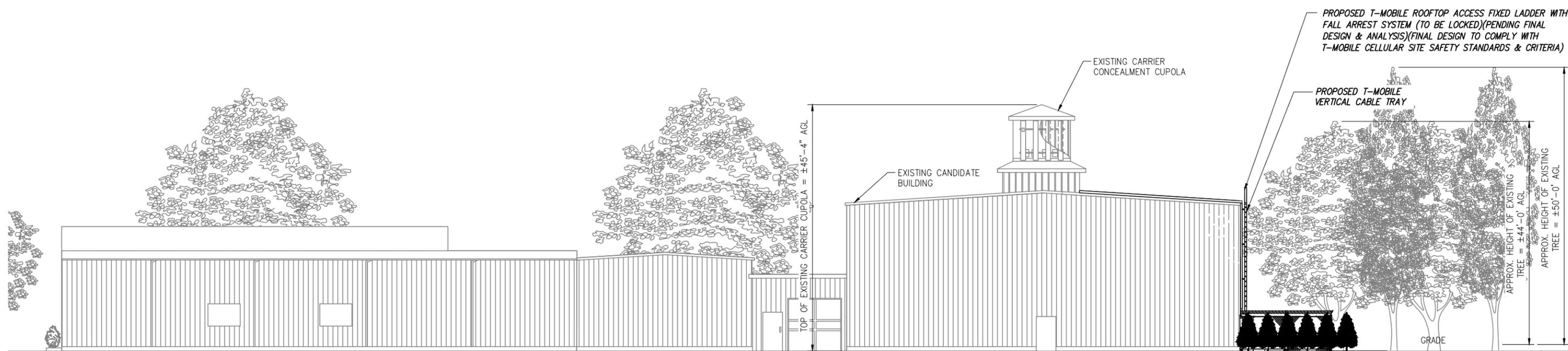
2

1

D
C
B
A



1 EAST ELEVATION
 --- SCALE: 22"x34" SHEET 1/8" = 1'-0"
 SCALE: 11"x17" SHEET 1/4" = 1'-0"



2 EAST ELEVATION
 --- SCALE: AS PROVIDED

PROPOSED T-MOBILE 12'-0"X 24'-0" CONCRETE EQUIPMENT PAD WITH A 12'-0"X 24'-0" FENCED LEASE AREA

5' 0 5' 10' 20'
 (IN FEET)
 SCALE: 22"x34" SHEET 1" = 10'-0"
 SCALE: 11"x17" SHEET 1" = 20'-0"

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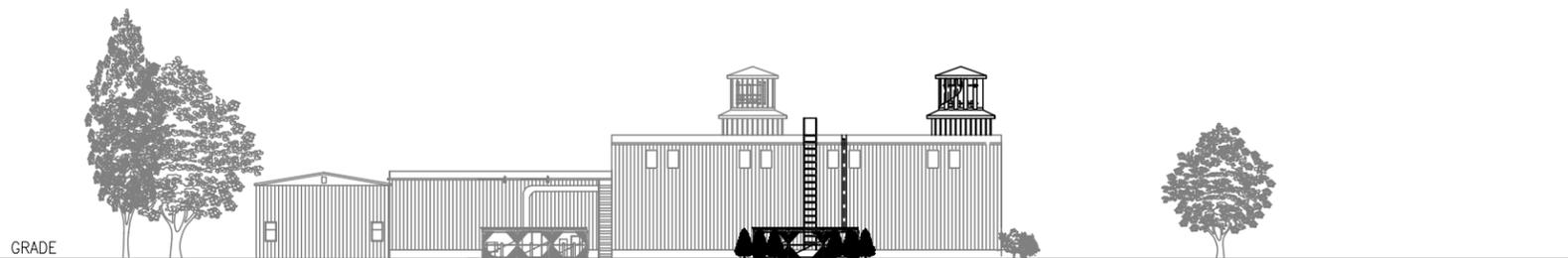
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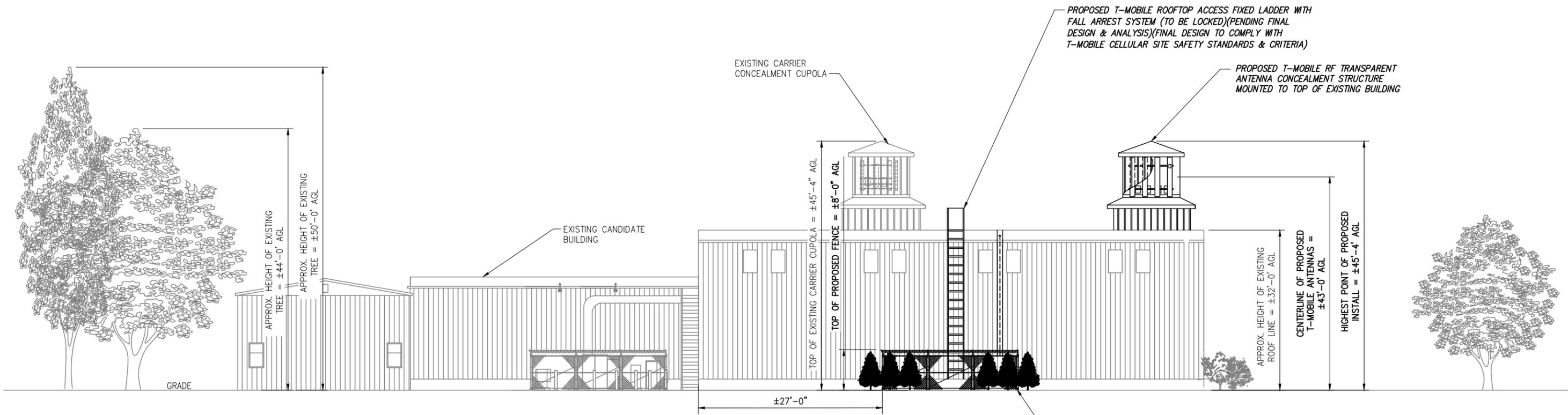


SITING ELEVATIONS

TOWN OF WAINSCOTT/SUFFOLK COUNTY TAX MAP NUMBER #0300-197-02-16 & 0300-192-02-3.2			
JOB #	SITE #	DRAWING NUMBER	REV
		Z04C	8



1 NORTH ELEVATION
 SCALE: 22"x34" SHEET 1/8" = 1'-0"
 SCALE: 11"x17" SHEET 1/4" = 1'-0"



2 NORTH ELEVATION
 SCALE: AS PROVIDED

PROPOSED T-MOBILE 12'-0"X 24'-0" CONCRETE EQUIPMENT PAD WITHIN A 12'-0"X 24'-0" FENCED LEASE AREA

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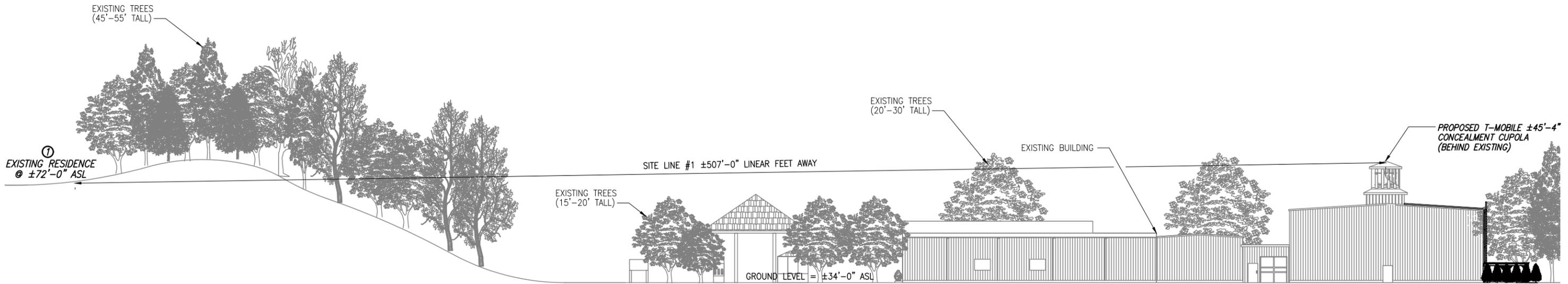
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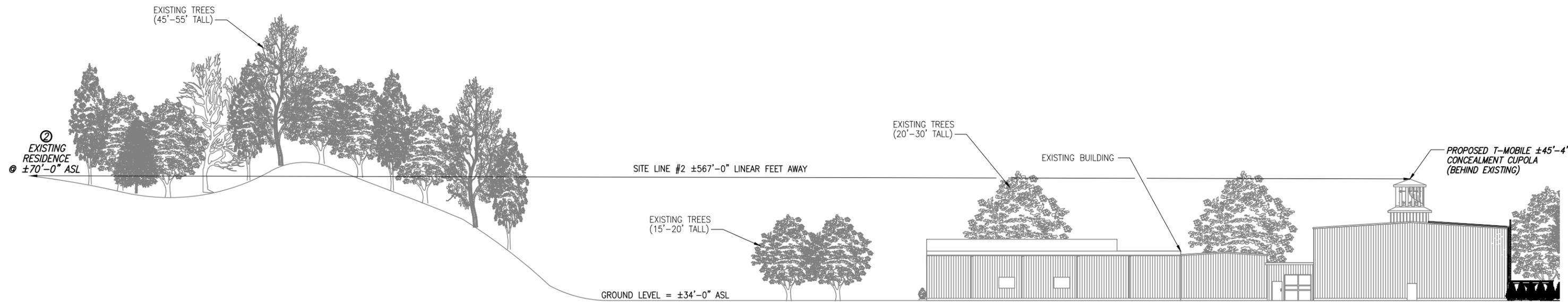
SITING ELEVATIONS

TOWN OF WAINSCOTT/SUFFOLK COUNTY TAX MAP NUMBER #0300-197-02-16 & 0300-192-02-3.2			
JOB #	SITE #	DRAWING NUMBER	REV
		Z04A	8



1 SITE LINE 1

10' 0 10' 20' 40'
(IN FEET)
SCALE: 22"x34" SHEET 1" = 20'-0"
SCALE: 11"x17" SHEET 1" = 40'-0"



2 SITE LINE 2

10' 0 10' 20' 40'
(IN FEET)
SCALE: 22"x34" SHEET 1" = 20'-0"
SCALE: 11"x17" SHEET 1" = 40'-0"

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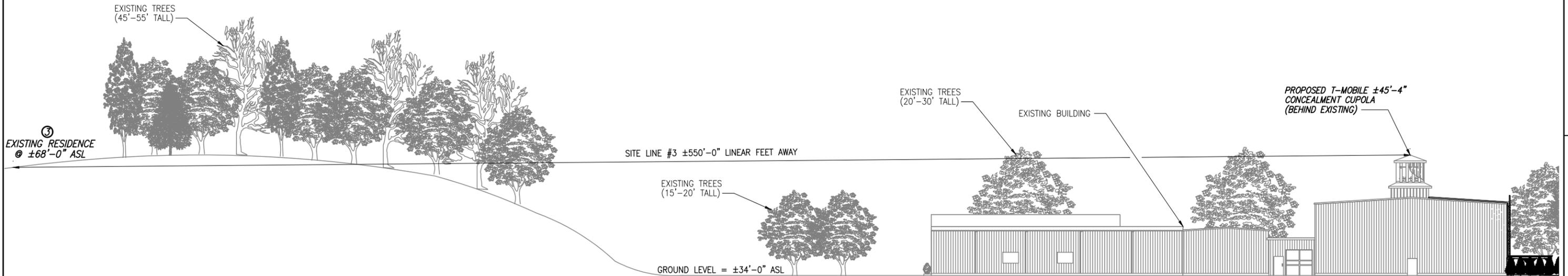
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SITE LINES

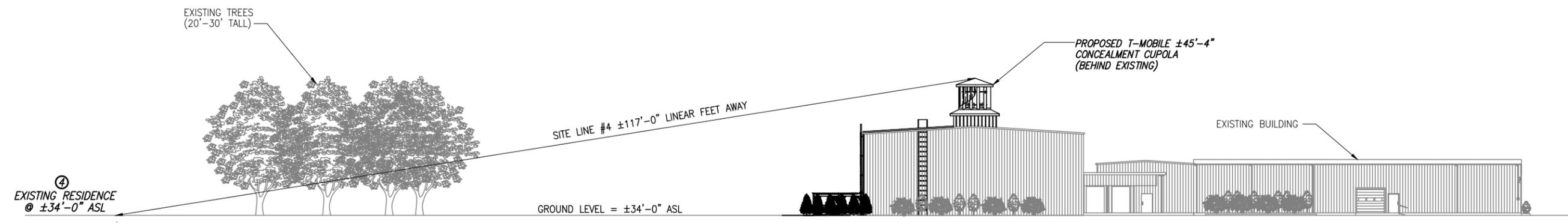
TOWN OF WAINSCOTT/SUFFOLK COUNTY TAX MAP NUMBER
#0300-197-02-16 & 0300-192-02-3.2

JOB #	SITE #	DRAWING NUMBER	REV
		Z05	8



1 SITE LINE 3

10' 0 10' 20' 40'
(IN FEET)
SCALE: 22"x34" SHEET 1" = 20'-0"
SCALE: 11"x17" SHEET 1" = 40'-0"



2 SITE LINE 4

10' 0 10' 20' 40'
(IN FEET)
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SCALE: 11"x17" SHEET 1" = 40'-0"

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SITE LINES

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JOB #	SITE #	DRAWING NUMBER	REV
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	CB Central Business	NB Neighborhood Business	WF Waterfront	RS Resort	CI Commercial Industrial	CS Commercial Service
Lot area						
Lot area						
Minimum (square feet)	3,000	10,000	20,000 ¹¹	84,000	40,000	20,000
Minimum per business or industry (square feet)	3,000 ¹	10,000 ¹	20,000 ¹	n/a	40,000 ²	10,000
Minimum for transient hotel or motel (square feet)	n/a	n/a	n/a	3,630	n/a	n/a
Minimum for resort motel or multiple-dwelling unit (square feet)	n/a	n/a	n/a	7,260	n/a	n/a
Lot coverage						
Building coverage (maximum percent)	50	40	40	15	50 ⁴	20
Total lot coverage (maximum percent)	80 ³	70 ³	75	75	75 ^{3,4}	75
Lot width						
Minimum at the street and waterfront (feet)	40	70	100	100	100	100
Height, maximum						
Stories	2	2	2	2	2	2
Maximum height (feet)	30	30	30	30	35 ⁶	35
Gabled roof (feet)	35	35	35 ⁵	35	35 ⁶	35
Setback						
Yards, principal building, minimum (feet) ¹³						
Front (corner lots have 2 front yards) ¹²	10	25	40	30	50	25
Each side	10 ⁸	15 ⁷	10 ⁷	15 ⁷	15 ⁷	15 ⁷
Rear	25	25 ⁷	25 ⁹	15 ⁷	25 ⁷	15 ⁷
Yards, accessory buildings and structures (feet)	10	10	10	10	10	10
Habitable floor area						
Minimum (square feet)	See § 255-5-50	See § 255-5-50	n/a	See § 255-5-50	n/a	n/a
Maximum (square feet)					n/a	n/a

NOTES:

- ¹ Except pursuant to a special permit for multiple-business-use complex.
- ² Except pursuant to a special permit for planned industrial park.
- ³ Except that the Planning Board may allow a greater percentage of lot coverage for a minor car wash, pursuant to site plan review.
- ⁴ Except in Water Recharge Overlay District where lot coverage shall be a thirty-percent maximum, and total lot coverage shall be a forty-percent maximum, and total clearing (as defined) shall be a fifty-percent maximum.
- ⁵ Except by special permit for boat storage and repair buildings.
- ⁶ Except by special permit for industries requiring interior heights up to fifty (50) feet.
- ⁷ Except for yards bordering a residence district, in which case the figure shown shall be doubled.
- ⁸ If building is not directly abut a business building on either side.
- ⁹ Except pursuant to special permit for waterfront-related uses which require direct access to the waterfront edge.
- ¹⁰ Accessory buildings and structures shall have minimum yards corresponding to those required for principal buildings and structures, unless the yard requirements for these accessory structures are reduced by the Planning Board during site plan review pursuant to § 255-6-63 hereof. No minimum yards are required for driveways, walkways, below-ground wastewater disposal devices, fences, retaining walls, stoops, Bileco doors, open cellar stairways and furnace flues, but the absence of minimum yard requirements for these structures shall not preclude the Planning Board from controlling their location during site plan review.
- ¹¹ Except for special permit uses which specify a larger lot area as a specific standard and safeguard. (See § 255-5-45.)

¹² Corner lots in central business use districts shall have one front yard only. The Planning Board shall designate the front yard. Only the rear yard opposite the designated front yard shall be subject to rear yard setbacks. All other yards other than the designated front yard and corresponding rear yard shall be deemed side yards subject to the side yard setback requirements set forth herein, and all applicable exceptions thereto.

¹³ For principal buildings and structures located in a Limited Business Overlay (LBO) District and principal buildings and structures for semi-public facilities, the minimum setbacks may be reduced by the Planning Board during site plan review pursuant to § 255-5-45 and § 255-5-50, respectively.



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SCALE: DESIGNED: DRAWN:



SITE LINES

TOWN OF WAINSCOTT/SUFFOLK COUNTY TAX MAP NUMBER #0300-197-02-16 & 0300-192-02-3.2			
JOB #	SITE #	DRAWING NUMBER	REV
		Z06	8



TOWN OF EAST HAMPTON

300 Pantigo Place – Suite 105
East Hampton, New York 11937-2684

Planning Department
JoAnne Pahwul
Director

Telephone (631) 324-2178
Fax (631) 324-1476

SITE PLAN/SPECIAL PERMIT EVALUATION

Montauk Sunset Cottages
SCTM#300-020-02-13.1, 13.2
31 & 41 East Lake Drive
App#: A0520200001

Prepared by: Brian Frank *BF* *JP*

Date: June 18, 2020

1. APPLICATION INFORMATION

A. INFORMATION RECEIVED: 12/18/19 Applicant submission; cover letter re: Ten (10) copies of the application, EAF, project sq. footage & project narrative, Ten (10) copies of Dilandro Engineering site plan/ septic plans October 25, 2019 (Sheet C-1, C—2A, C-2-B, C-2C) Ten (10) copies of AML Architecture architectural filing set dated November 6, 2019 (A-000 Title Sheet), (A-100.1 Overall Site Plan), (A101- Ground Floor Plan), (A-102 Second Floor Plan) (A-103 Basement Floor Plan), (Cottage #1 A-121.1 Basement Plan Ground Floor Plan),(Cottage #1 A-121.2 Basement Plan Ground Floor Plan),(Cottage#2 A-122.1), (Cottage#3 A-123.1 Basement Plan Ground Floor Plan), (Cottage #3 A-123.2 Roof Plan), (Cottage #4&5 A-124.1 Basement Plan Ground Floor Plan), (Cottage #4&5 A-124.2 Roof Plan), (Cottage #6 A-125.1 Basement –Ground Roof Plans), (Cottage #7 A-126.1 Basement Plan Ground Floor plan), (Cottage #8&9 A-127.1 Floor plans Roof plan), (Cottage #10 A-128.1 Basement Plan Ground Floor Plan), (Cottage #11 A-129.1 Basement – Ground Roof Plan), (Cottage #12 A-129.2 Basement – Ground Roof Plan), (Cottage #14 A-130.1 Basement Plan Ground Floor plan), (Pavilion A-140.1 Ground Floor Plan Roof plan), (Storage A-142.1 Ground Floor Plan Roof plan), (Main House A200.1 – Exterior Elevations), (Main House A200.2 Exterior Elevations), (Cottage #1 A-201 – Exterior Elevations), (Cottage #2 A-202 Exterior Elevations), (Cottage #3 A-203 Exterior Elevations), (Cottage #4&5 A-204 Exterior Elevations),(Cottage #6 A-205 Exterior Elevations)(Cottage #7 A-206 Exterior Elevations), (Cottage #8&(A- 207 Exterior Elevations), (Cottage #10 A-208 Exterior Elevations), (Cottage #11 A-209.1 Exterior Elevations), (Cottage #12 A-209.2 Exterior Elevations), (Cottage #14 A-210 Exterior Elevations), (Pavilion A-211.1 Exterior Elevations), (Pavilion A-211.2 Exterior Elevations), (Storage A&B

A-213.1 Exterior Elevations), Ten (10) copies of James Walsh LS proposed site plan/ survey dated December 6, 2019, Ten (10) copies of Summerhills landscape plan dated October 18, 2019. 02/06/2020 Fire Marshal Comments.

- B. DATE SUBMITTED:** 12/18/2019
- C. OWNER:** Montauk Sunset Cottages, LLC
- D. APPLICANT/AGENT:** Britton Bistran / Tiffany Scarlato, Esq.
- E. SCHOOL DISTRICT:** Montauk
- F. STREET NAME:** East Lake Drive
- G. TYPE OF STREET:** Town
- H. ZONING DISTRICT:** A Residential; Harbor Protection Overlay; Coastal Erosion Overlay Zone 2
- I. SEQRA - TYPE OF ACTION:** Unlisted
- J. INVOLVED AGENCIES:** Suffolk County Department of Health Services (SCDHS), New York State Department of Environmental Conservation (NYSDEC), East Hampton Zoning Board of Appeals
- K. OTHER REVIEW:** Office of Fire Prevention

2. DESCRIPTION OF PROJECT

- A. PROPOSED USE(S) AS CLASSIFIED BY TOWN CODE:** Motel, Single-Family Residence
- B. EXISTING USE(S) AS CLASSIFIED BY TOWN CODE:** Motel, Single-Family Residence
- C. ARE THE EXISTING & PROPOSED USES PERMITTED OR SPECIAL PERMITTED BY THE TOWN CODE?** Prohibited, permitted
- D. AREA OF PARCEL (SQUARE FEET):** 166,120 sq. ft. (total)
- E. MOST RECENT CERTIFICATE OF OCCUPANCY:** 4/23/19
- F. DESCRIPTION OF EXISTING STRUCTURES:**

The property is currently improved with a two-story residence, one 1,361 sq. ft. two-story cottage containing two transient motel units upstairs, each with one bedroom and one kitchen and a garage below and ten (10) one-story buildings.
- G. DESCRIPTION OF PROPOSED STRUCTURES:**

The application proposes the demolition of all the existing upland improvements and the construction of a new 6,246 sq. ft. two-story residence in a similar location to the residence to be demolished and a 16' x 56' swimming pool seaward (west) of the residence. The application also proposes the reconstruction of the timber groin, bulkhead and the construction of a dock in the northern portion of the property.
- H. EXISTING & PROPOSED LOT COVERAGE:** 9,695 sq. ft. / 11,985 sq. ft.
- I. EXISTING & PROPOSED TOTAL COVERAGE:** 27,801 sq. ft. / 30,308 sq. ft.
- J. HEIGHT OF PROPOSED STRUCTURES:** 29' 4" (tallest)
- K. NUMBER OF STORIES OF PROPOSED STRUCTURES:** 2.5 stories
- L. NUMBER OF EXISTING PARKING SPACES:** not identified

- M. **NUMBER OF PARKING SPACES REQUIRED:** 20
- N. **TOTAL PARKING SPACES PROVIDED:** 11
- O. **VARIANCES REQUIRED:** Variance is required to reconstruct the bulkhead in Coastal Erosion Overlay District Zone 2
- P. **DOES EXISTING & PROPOSED LIGHTING COMPLY WITH BOARD POLICY?** No lighting details provided
- Q. **DISTANCE TO PUBLIC WATER:** 12" main available
- R. **SOURCE OF WATER SUPPLY:** not specified
- S. **TYPE OF SANITARY SYSTEM:** Fuji Clean Cen-14, Cen-10 & Cen-5
- T. **ARE EXISTING & PROPOSED SANITARY SYSTEMS DEPICTED:** Yes
- U. **DO SANITARY CALCULATIONS COMPLY WITH SCDHS STANDARDS?** Sanitary calculations on sheet 1 of the DiLandro Engineering Plans appear to comply with SCDHS density load requirements
- V. **NUMBER OF ACCESS POINTS:** One
- W. **IS SIGHT DISTANCE ACCEPTABLE?** To be determined; no change in the current access is proposed
- X. **IS THE PROPOSAL ADA COMPLIANT?** To be determined by the East Hampton Fire Marshall

3. SUBMISSION REQUIREMENTS PURSUANT TO CHAPTER 255 (LIST ITEMS AND SECTION FOR THOSE ITEMS NOT SUBMITTED)

4. SITE ANALYSIS:

- A. **SOIL TYPE:** Bridgehampton silt loam, till substratum, 2 – 6% percent slopes, Beaches (Bc)
- B. **FLOOD HAZARD ZONE:** VE Flood Zone, el. 10' & X Flood Zone
- C. **DESCRIPTION OF VEGETATION:** Cleared
- D. **RANGE OF ELEVATIONS:** 30' – 2'
- E. **NATURE OF SLOPES:** variable, moderate in location of improvements
- F. **TYPE OF WETLANDS WITHIN NRSP JURISDICTION:** Tidal & freshwater wetlands
- G. **SETBACK FROM ANY WETLAND OR WATER BODY:** variable
- H. **ARE THERE TRAILS ON SITE?** No
- I. **DEPTH TO WATER TABLE:** 30'
- J. **DOES THE SITE CONTAIN HISTORIC OR ARCHAEOLOGICAL RESOURCES?** None have been identified
- K. **AGRICULTURAL DATA STATEMENT REQUIRED:** No
- L. **IS THE SITE CONTAINED WITHIN:**

NYS Significant Coastal Fish & Wildlife Habitat	Yes
Local Significant Coastal Fish & Wildlife Habitat	No
US Fish & Wildlife Significant Ecological Complex	No
PEP CLPS list	Yes
Town Community Preservation Fund List	No
Recommended Scenic Area of Statewide Significance	Yes
Suffolk County designated Pine Barrens	No

South Fork Special Groundwater Protection Area	No
Town Overlay District	HPOD, CEOD Zone 2

Other Background Information:

Project Details

The application proposes the demolition of all the existing upland improvements and the construction of a new 6,246 sq. ft. two-story residence in a similar location to the residence to be demolished and a 16’ x 56’ swimming pool seaward (west) of the residence. A Fuji Clean Cen-10 I/A sanitary system is proposed to serve the new residence and three of the motel units (cottages). Two storage buildings, a “pavilion,” dry sauna and pool cabana with sanitary system are proposed in the southern portion of the property. The new residence, swimming pool, sanitary systems and accessory structures are proposed beyond NRSP jurisdiction.

The cottages are primarily concentrated in the northern portion of the property. All are proposed to be reconstructed in-place. Six of the cottages are non-conforming to minimum wetland or bluff crest setbacks and one cottage is non-conforming to side yard and pyramid height restriction setbacks. A Fuji Clean Cen 14 I/A sanitary system has been proposed 94’ and 182’ respectively from the freshwater wetlands to the north and the tidal wetlands to the west to serve the remaining seven cottages. Access to a number of the cottages is obtained from a dirt drive located along the eastern and northern lot lines. The application proposes to formalize this access and establish 8 parking spaces, two of which are ADA compliant as shown on the survey.

The application proposes the reconstruction of the timber groin, bulkhead and the construction of a dock in the northern portion of the property. The reconstruction of the timber groin is prohibited by the Town Code and the reconstruction of the bulkhead will require a variance from the Town’s Coastal Erosion Overlay District regulations. An application has been submitted to the Zoning Board of Appeals.

Existing Conditions

The property is currently improved with a two-story residence, one 1,361 sq. ft. two-story cottage containing two transient motel units upstairs, each with one bedroom and one kitchen and a garage below and ten (10) one-story buildings. The buildings, labeled as cottages on the survey and building plans, are resort units as defined by the Town Code. They each contain one bedroom and kitchen facilities with the exceptions of two (labeled as cottages 4 & 5 and 8 & 9) which are “double” units that contains two kitchen facilities and a total of two bedrooms. The sizes of the cottages range from 336 sq. ft. to 1,032 sq. ft. The cottages are numbered 1-14 on the building plans although it should be noted that there is no cottage # 13 on the plans. Two dilapidated storage buildings are located in the southern portion of the property. The property was developed prior to the adoption of zoning and the structures on 1962 Geographic Information System aerials appear similar

to current conditions. A Certificate of Occupancy was issued on April 23, 2019 for the existing improvements.

The property is located within the A Residential Zoning, Harbor Protection Overlay District and Coastal Erosion Overlay District Zone 2. It is located within the southern portion of Lake Montauk and contains tidal wetlands, coastal bluffs and adjoins freshwater wetlands. The freshwater wetlands consist of an active watercourse located along the northern property boundary within a 4.5 acre partially cleared Town owned property that provides pedestrian access to the shoreline of Lake Montauk. The underwater land adjacent to the shoreline of the property is a 6 acre parcel owned by the Town. The shoreline of the property contains a short stone rubble groin along the northern lot line, a 160 linear ft. timber groin in the central portion of the property and a “U” shaped bulkhead in the southern portion of the property. A sand spit with stone rubble extends into the harbor just north of the bulkhead and is labeled as a stone jetty on the survey.

Issues:

Conforming and Non-Conforming Uses and Structures

The reconstruction and enlargement of the residence and the accessory structures (swimming pool, cabana, etc.) are permitted uses in the A Residential Zoning District. Although a motel use is prohibited in the A Residential district, the reconstruction of existing motel units is not prohibited as long as the extent of non-conformity is not increased.

As previously stated, the cottages are primarily clustered in the northern portion of the property and appear to be somewhat randomly distributed. The cottages along the northern lot line are non-conforming to minimum wetland setbacks, the 35' principal structure side yard setback and one building (cottage 4 & 5) is non-conforming to Pyramid height setbacks.

The relocation of these units, rather than the proposed reconstruction in place, would improve environmental conditions on the property by improving freshwater wetland setbacks. The property slopes downward towards the northern lot and the location of the buildings and the driveway increase surface runoff into the active watercourse. The elimination of the driveway and the cottages, all located between 7'-40' from the wetlands, would facilitate the establishment of a wetland buffer, decreasing the extent of non-conformity to clearing and increasing the protection of Lake Montauk which is a New York State Significant Coastal Fish and Wildlife Habitat and a part of the Peconic Estuary Critical Environmental Area.

Parking

Section 255-11-45 of the Town Code (Schedule of off-street parking requirements) requires 2 parking spaces for the residence and 1.25 parking spaces per bedroom for a total of twenty (20) spaces on the property. The survey appears to indicate a total of 11

spaces (including two ADA compliant), nine of which are located along the eastern and northern lot lines.

The plans need to be revised to indicate the type of surface material for the proposed handicapped parking spaces.

The Fire Marshal has reviewed the plans and submitted comments dated January 19, 2020 indicating that the proposed driveway does not comply with the NYS Fire Code. Specifically, the proposed driveway is required to meet the design requirements of 511.2.6, to have an unobstructed width of 20', and a turnaround area is required where the driveway ends in a deadend. A copy of these comments is attached.

Lighting

A lighting plan has not been submitted with the application and prior to any Site Plan or Special Permit. A lighting plan for fully shielded exterior light fixtures as required by § 255-1-83 of the Town Code, and that includes a key to the plan that indicates wattage, bulb type, lumen levels, Kelvin levels, mounting height, and type of control should be submitted. Manufacturer's specification sheets for the fixtures should also be provided.

Landscaping

The extent of clearing on the property (107,809 sq. ft.) pre-dates the clearing restrictions of the Harbor Protection Overlay District (29,113 sq. ft.) by 370%. The Summerhill Landscape Plan appears to indicate areas around the cottages and in the southeast corner of the property to be revegetated with native shrubs, grasses and forbes. The survey indicates that no new clearing is proposed, but no access to the dock, currently proposed in the northern portion of the property, is proposed. Future revisions to the landscaping plan should more clearly label areas to be revegetated and include the square footages of proposed revegetation.

Coastal Structures

The reconstruction of shore perpendicular structures is prohibited by the Town Code and the reconstruction of the timber bulkhead requires a variance from the Town's Coastal Erosion Overlay District regulations. The reconstruction of the bulkhead and the construction of the proposed dock will require approvals from the East Hampton Zoning Board of Appeals and the New York State Department of Environmental Conservation (NYSDEC).

SEQRA

The project is an unlisted Action pursuant to SEQRA and Chapter 128 of the Town Code. It is recommended that the Planning Board request lead agency status for the project.

Title of Plans

All plans submitted for this application, including but not limited to site plans, drainage plans, and landscaping and lighting plans, must be labeled with the title of the project. This title must be consistent with the title that the application was filed under unless an official request is made to modify the application name. All correspondence submitted

should also be consistent with this title. This consistency is essential for record keeping purposes and any plans not so labeled will be required to be revised accordingly.

Planning Board Consensus

1. Does the Planning Board want to encourage the relocation of the cottages located along the northern property boundary?

Additional comments: _____

2. Does the Board want to encourage revisions to the driveway location away from the northern lot line and the depiction of the nine (9) additional parking spaces required by § 255-11-45 of the Town Code?

Additional comments: _____

3. Does the Planning Board want to require a revised landscaping plan that more clearly labels the locations of any new clearing and the location and square footages to be revegetated?

Additional comments: _____

4. Does the Planning Board want to require the submission of an exterior lighting plan for the property?

Additional comments: _____

Additional Board Comments:



1" = 102.32 feet



THE TOWN OF EAST HAMPTON MONTAUK SUNSET COTTAGES

NO PORTION OF THIS MAP MAY BE MAINTAINED, ALTERED, SOLD, DISTRIBUTED, REPRODUCED, STORED IN OR INTRODUCED INTO A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS (ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE), WITHOUT THE PRIOR WRITTEN PERMISSION FROM THE TOWN OF EAST HAMPTON

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Prepared by
THE TOWN OF EAST HAMPTON
Suffolk County, New York
Dept. of Information Technology

Date Prepared: <Month day, Year>

\\hightower_gis\GIS\GIS\Users\Department\Planning\Basemaps_and_Templates



Basemaps: 2018 Pictometry Digital Ortho Photography
Suffolk County Real Property Tax Service
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Suffolk County Real Property Tax Service Agency (R.P.T.S.A.)

SITE PLAN/SUBDIVISION REVIEW

Application Type/Name:

Site Plan / Special Permit Montauk Sunset Cottage LLC

Address:

31 East Lake Dr., Montauk

SCTM #

300-20-2-13.1 + 13.2

Map Prepared by

James Walsh Land Surveyor

Date

12/6/19

Fire District:

- East Hampton
- Amagansett
- Montauk
- Springs
- Bridgehampton
- Sag Harbor
- Residential
- Commercial
- Other

Fire Marshal Findings:

The proposed project is adjacent to or within 1000 feet of public water and fire hydrants that provide adequate water supply for fire fighting purposes.

Be advised submitted information is sufficient or not relevant to necessitate further review for fire protection purposes.

Please find enclosed application to modify previously submitted application.

The proposed project is ADA compliant

The proposed project is not ADA compliant, see comments

Other Emergency Vehicle access insufficient see comments

Reviewed by Fire Marshal

David D...

Date

1/19/2020

Fire Department Recommendations:

The proposed project is adjacent to public water and or fire hydrants.

No additional water sources are required. Additional fire protection required. This office recommends the installation of: Fire Hydrants(s) Electric Well

Other see attached.

The proposed project is not adjacent to public water and or fire hydrants. This office recommends the installation of Fire Hydrant(s) Electric Well Other See attached

Additional information submitted for referenced project does not change original recommendations.

Additional information submitted for referenced project has changed the original recommendation in regards to fire protection. See attached.

The proposed project does not provide adequate access for emergency service vehicles. See attached.

Reviewed by

Date

FEB 16 2020

S. Kramer
K. Cunningham
R. Parsons
B. Frank

COMMENTS:

NYS Fire Code 511.2 Driveways shall be provided ... when located more than 300' from fire apparatus access roads.

511.2.6 Driveways, and portions thereof, that serve more than four buildings shall meet design requirements of fire apparatus access roads in Sec. 503

503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders.

503.2.3 Surface. Fire apparatus access roads shall be designed to support and loads of fire apparatus in all weather conditions

503.2.5 Dead Ends. Dead-end fire apparatus access roads in excess of 150 feet shall be provided with an approved area for turning around.

Driveways that serve more than four building are required to be 20 feet in width. Driveways that are dead end greater than 150 shall be provided with a turn around.

- Map depicting location of recommendations enclosed.



TOWN OF EAST HAMPTON

300 Pantigo Place – Suite 105
East Hampton, New York 11937-2684

Planning Department
JoAnne Pahwul, AICP
Director

Telephone (631) 324-2178
Fax (631) 324-1476

June 30, 2020

TO: Planning Board

FROM: Eric Schantz
Senior Planner *E.S. JP*

RE: Emergency Services Communication Facility at Springs Fire Department
– Site Plan/Special Permit
SCTM#300-62-2-18.2
179 Fort Pond Boulevard

Last Review Date: June 3, 2020

Items and Date Received: N/A

Background Information: Site plan application has been made to construct a 180' tall monopole with various antennas and a dish for the East Hampton Police Department and Springs Fire Department along with ground level equipment shelter. Also proposed is the removal of an already-built 150' tall stealth monopole.

The property contains a ~11,000 sq. ft. firehouse building, garage, shed, and various other minor accessory structures for the Springs Fire Department. It is zoned NB: Neighborhood Business and situated on Fort Pond Boulevard in Springs. It is mostly cleared of naturally-occurring vegetation with areas of deciduous woodlands mostly in the north corner of the site.

Pursuant to the State Environmental Quality Review Act (SEQRA) and Chapter 128 of the Town Code the proposed project is an unlisted action.

Issues for Discussion:

SEQRA

At the time of the last review, the Board instructed the Planning Department to prepare an EAF Part II & III. This document has been attached. A positive declaration pursuant to SEQRA and Chapter 128 of the Town Code is recommended. Provided a positive declaration is made then a draft scope should be prepared.

ES

Planning Board Consensus

Does the Board wish to make a positive declaration?

Additional comments: _____

Additional Board Comments:

Full Environmental Assessment Form
Part 2 - Identification of Potential Project Impacts

Agency Use Only [If applicable]
 Project : Emergency Services Communication SFD
 Date : 07/08/2020

Part 2 is to be completed by the lead agency. Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency and the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

Tips for completing Part 2:

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

2. Impact on Geological Features
 The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g) NO YES
If "Yes", answer questions a - c. If "No", move on to Section 3.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

3. Impacts on Surface Water
 The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h) NO YES
If "Yes", answer questions a - l. If "No", move on to Section 4.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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4. Impact on groundwater

The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer.

NO

YES

(See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t)

If "Yes", answer questions a - h. If "No", move on to Section 5.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

5. Impact on Flooding

The proposed action may result in development on lands subject to flooding.

NO

YES

(See Part 1. E.2)

If "Yes", answer questions a - g. If "No", move on to Section 6.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
----------------------------------	--	--------------------------	--------------------------

6. Impacts on Air
 The proposed action may include a state regulated air emission source. NO YES
 (See Part 1. D.2.f., D.2.h, D.2.g)
If "Yes", answer questions a - f. If "No", move on to Section 7.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO ₂) ii. More than 3.5 tons/year of nitrous oxide (N ₂ O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF ₆) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals
 The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) NO YES
If "Yes", answer questions a - j. If "No", move on to Section 8.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

8. Impact on Agricultural Resources			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

9. Impact on Aesthetic Resources The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>				<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>		
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>		
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

10. Impact on Historic and Archeological Resources The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>				<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3e	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

d. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Moderate to large impact may occur", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input checked="" type="checkbox"/>

11. Impact on Open Space and Recreation
The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. NO YES
(See Part 1. C.2.c, E.1.c., E.2.q.)
If "Yes", answer questions a - e. If "No", go to Section 12.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

12. Impact on Critical Environmental Areas
The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) NO YES
If "Yes", answer questions a - c. If "No", go to Section 13.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

13. Impact on Transportation

The proposed action may result in a change to existing transportation systems.
(See Part 1. D.2.j)

NO

YES

If "Yes", answer questions a - f. If "No", go to Section 14.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

14. Impact on Energy

The proposed action may cause an increase in the use of any form of energy.
(See Part 1. D.2.k)

NO

YES

If "Yes", answer questions a - e. If "No", go to Section 15.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____			

15. Impact on Noise, Odor, and Light

The proposed action may result in an increase in noise, odors, or outdoor lighting.
(See Part 1. D.2.m., n., and o.)

NO

YES

If "Yes", answer questions a - f. If "No", go to Section 16.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

16. Impact on Human Health

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)
If "Yes", answer questions a - m. If "No", go to Section 17.

NO

YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input checked="" type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: <u>Proposed action may impact the health and safety of adjacent residents</u> _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>

17. Consistency with Community Plans

The proposed action is not consistent with adopted land use plans.

NO

YES

(See Part 1. C.1, C.2. and C.3.)

If "Yes", answer questions a - h. If "No", go to Section 18.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

18. Consistency with Community Character

The proposed project is inconsistent with the existing community character.

NO

YES

(See Part 1. C.2, C.3, D.2, E.3)

If "Yes", answer questions a - g. If "No", proceed to Part 3.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

PRINT FULL FORM

Full Environmental Assessment Form
Part 3 - Evaluation of the Magnitude and Importance of Project Impacts
and
Determination of Significance

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

Reasons Supporting This Determination:

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

Please see attached.

Determination of Significance - Type 1 and Unlisted Actions

SEQR Status: Type 1 Unlisted

Identify portions of EAF completed for this Project: Part 1 Part 2 Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the
East Hampton Town Planning Board _____ as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.d).

C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action: Emergency Services Communications Facility at Springs Fire Department

Name of Lead Agency: East Hampton Town Planning Board

Name of Responsible Officer in Lead Agency: Samuel Kramer

Title of Responsible Officer: East Hampton Town Planning Board Chairman

Signature of Responsible Officer in Lead Agency:

Date:

Signature of Preparer (if different from Responsible Officer) Eric Schantz

Digitally signed by Eric Schantz
DN: cn=Eric Schantz, o=ov,
email=eschantz@ehamptonny.gov, c=US
Date: 2020.06.29 15:14:38 -0400

Date:

06/29/2020

For Further Information:

Contact Person: Eric Schantz

Address: 300 Pantigo Place, Suite 105

Telephone Number: (631) 324-2178

E-mail: eschantz@ehamptonny.gov

For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

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Site plan application has been made to construct a 180' tall monopole with various antennas and a dish for the East Hampton Police Department and Springs Fire Department along with ground level equipment shelter. Also proposed is the removal of an already-built 150' tall stealth monopole.

The property contains a roughly 11,000 sq. ft. firehouse building, garage, shed, and various other minor accessory structures for the Springs Fire Department. It is zoned NB: Neighborhood Business and situated on Fort Pond Boulevard in Springs. It is mostly cleared of naturally-occurring vegetation with areas of deciduous woodlands mostly in the north corner of the site.

The already-built 150' tall stealth monopole was the subject of a decision from the Zoning Board of Appeals (ZBA) in 2015. This tower was built without site plan approval. The building permits which allowed construction to begin were appealed and the ZBA ultimately ruled that site plan approval was required and revoked the building permits. The building plans associated with these permits did not illustrate any private cell service antennas which would clearly constitute a Personal Wireless Service Facility (PWSF).

The current proposal identifies no equipment for cell carriers and has not been submitted as a request for a PWSF. Although the tower design could most likely accommodate carriers in the future, all equipment shown is for the East Hampton Police Department or Springs Fire Department.

9. Impact on Aesthetic Resources

The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource.

a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.

The proposed new pole would be 180' in height with a whip antenna extending out past 195'. Although the subject property is not within a Scenic Area of Statewide Significance (SASS), the existing 150' tall pole is currently partially visible from the Accabonac Harbor Area, including Gerard Drive, which is a designated SASS. Obviously, a 30' taller pole with a dish and antenna arrays all above 150' would be more conspicuous.

Visualizations from Creative Visuals LLC were submitted to and reviewed by the Planning Board. These include visual renderings from six (6) different locations along Talmage Farm Lane, Springs Fireplace Road and Fort Pond Boulevard. These images were produced based upon a field inspection performed on February 5, 2020.

As indicated in the submitted visualizations, the proposed tower would be visible from both the Springs Historic District and a Scenic Area of Statewide Significance (Accabonac Harbor Subunit). The visualizations included only six (6) locations and did not include Gerard Point, areas along the open vistas of Gerard Drive, Louse Point, Ashawagh Hall, Pussy's Pond or the grounds of the Pollock Krasner House, all of which are important scenic and/or cultural resources within this area of Springs. As such, the potential for a significant adverse impact to these resources is present until further information is obtained.

d. The situation or activity in which viewers are engaged while viewing the proposed action is:

- i. Routine travel by residents, including travel to and from work*
- ii. Recreational or tourism based activities*

Springs Fireplace Road is a main arterial road within East Hampton Town. Recent traffic counts of this road in the section immediately adjacent to the subject parcel are not available but according to the New York State Department of Transportation's 2016 traffic counts the Annual Average Daily Traffic (AADT) along a portion of this roadway roughly 1 mile to the south was 8,447 trips. Traffic counts are available from 2016 for Fort Pond Boulevard and this figure was 2,502 trips. Although this area of Springs is not centrally-located as far as the boundaries of East Hampton Town are set, it is an area with year-round traffic that is routinely traveled by year-round residents. Springs contains both the densest population and largest year-round population in East Hampton Town.

A number of recreational and tourism based activities would be visually impacted by the proposed tower. Accabonac Harbor is a popular tourist destination during the summer months in particular for non-motorized watercraft such as kayaks, canoes & paddle boards as well as for fishing, swimming, hiking and jogging. Although a significant distance away from Gerard Drive and Louse Point Road, the two main public access points to Accabonac Harbor, the significant difference between tree heights (roughly 60') and the proposed 180' tall monopole would mean that it would be visible from these locations. The existing 150' tall stealth monopole is currently visible from these areas.

e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.

As noted in this Environmental Assessment Form in the responses to numerous questions, the proposed monopole would be visible from a Scenic Area of Statewide Significance (Accabonac Harbor Subunit) a designated aesthetic resource.

10. Impact on Historic and Archeological Resources

The proposed action may occur in or adjacent to a historic or archaeological resource.

a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.

The subject property is not within the Springs Historic District. However, the boundary of the district is roughly 900' away at Springs – Fireplace Road.

The Springs Historic District consists of thirty six (36) individual properties. A number of these properties are listed on the National Register of Historic Places and/or contain buildings listed on this register. These include; the Pollock Krasner House and grounds at 830 Springs Fireplace Road less than ¼ mile from the subject parcel, and the Ambrose Parsons House and grounds, which include the Parson's Blacksmith House, at 778 and 780 Springs Fireplace Road about 1/3 of a mile. Ashawagh Hall also at 780 Springs Fireplace Road is listed as eligible for the National Register. The Springs Presbyterian Chapel at 5 Old Stone Highway, also roughly 1/3 of a mile from the subject parcel and Springs General Store at 29 Old Stone Highway are listed as of

undetermined eligibility.

The closest to the subject parcel and most well-known of these houses and grounds to the majority of the public is the Pollack Krasner House which is now operated by Stony Brook University as the Pollock Krasner House and Study Center. The Study Center provides guided tours to the public, including school and community groups.

The grounds and the Pollock Krasner House itself exist largely as they did in the mid 1940's when the artists Jackson Pollock and Lee Krasner moved there. There has of course been increased development in the surrounding area over the past eighty years but this for the most part has little effect on the historic setting of the site, which abuts Accabonac Harbor. Any potential adverse impact on this important historic and cultural resource needs to be determined as part of the review of the proposed project. Visual renderings from the Pollock Krasner House grounds have not been provided and accurate information detailing the visibility of the proposed 180' tall monopole from this (as well as other) nationally recognized historic resource will be needed. To date, there has been no information supplied from a historic preservation consultant or other such qualified professional.

b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.

The subject parcel is situated within an area that has been designated as Archaeologically Sensitive by the New York State Office of Parks, Recreation & Historic Preservation. Additionally, there have been a number of Phase I and Phase II archaeological surveys performed in the surrounding area, including for Springs School and the Potter Subdivision

16. Impact on Human Health

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants.

m. Other impacts: Proposed action may impact the health and safety of adjacent residents

The principal issue to be addressed by Question #16 and the subparts therein is in relation to contaminants. However, it needs to be noted in this Environmental Assessment Form with regard to human health that the proximity of the proposed tower to adjacent residences and yards presents the potential for a significant adverse impact, particularly with regard to the potential for ice, equipment or debris to fall from the tower onto these nearby areas.

As noted above, the currently proposed project does not represent a Personal Wireless Service Facility (PWSF) as the same is defined in the Town Code as no wireless service for individual persons is proposed. The specific special permit standards for a PWSF as found in section 255-5-50 of the Town Code. Among these are requirements for "fall zones"

"Fall zone and setback requirements.

(a) Fall zone.

[1] No habitable structure or outdoor area where people congregate should be within a fall zone of two times the height of the personal wireless service facility or its mount.

[2] No adjoining property line may be within the fall zone of a radius equal to the height of the personal wireless service facility or its mount."

It is noted that if this were a Personal Wireless Service Facility, variances would be required from the specific special permit standards regarding fall zones. Although the setbacks have not been formally illustrated on the survey, there appears to be twenty-four (24) adjacent residences, pools, patios or yards within 360' (2X the height) of the proposed tower. Six (6) individual neighboring lots appear to have boundaries within 180' of the proposed tower's base. This would represent a sum of thirty (30) variances.

Section 255-11-72 (HEIGHT) in the Town Code addresses allowable maximum heights for particular structures and requires structures to be in compliance with the maximum heights allowable in the dimensional tables (Section 255-11-10) as well as the pyramid law. The maximum allowable height for a structure on this lot would be 30'. However, it would appear that the pole is exempt from both the maximum height requirement and the pyramid law as it is a "...radio...transmission tower(s) and antenna..." and is not within a residential district.

"(1) The height limitations for buildings and structures listed in the Dimensional Table of § 255-11-10 shall not be deemed to apply to a wind energy conversion structure approved by the Town Board pursuant to Chapter 249 of this Code nor to church spires, chimneys, flagpoles, radio or television transmission towers and antennas, telephone poles, radio and television aerials or their supports; provided, however, that in residential districts any such structure, with the exception of chimneys, shall be set back from any property line in relation to its height so as to comply with Subsection D (Pyramid Law) hereof..."

Therefore, as currently proposed, the project will not require variances from the East Hampton Town Code, Chapter 255 Zoning.

However, it should be considered that these provisions and standards of the Code are largely intended to protect adjacent residential properties from potential health and safety hazards, particularly with regard to ice and debris from falling and endangering residents. In fact, the Planning Board's site plan standards of section 255-6-60 of the Town Code:

"The Board shall consider...

Residential property: the proximity of the structures to residential property and the effect which the proposed structures might have on an existing or future residential use of that land."

Information pertaining to how the potential significant adverse impacts associated with the 180' tall tower's proximity to nearby residents will be mitigated has not been provided.

18. Consistency with Community Character

The proposed project is inconsistent with the existing community character.

d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.

As noted in Part d. of the response to Question #9 as well as other areas of this Environmental

Assessment Form, the immediate area contains numerous public resources, including; open space resources, most notably the waters and beaches of Accabonac Harbor and the trails and open spaces around Pussy's Pond, and community meeting areas such as Ashawagh Hall, the Ambrose Parsons House, the Springs Historical Society and Community Library and the Springs General Store. Although the proposed tower would not directly impede the functions of these resources, the visual impact of the tower needs to be fully assessed in order to insure that there will not be a significant adverse impact.

e. The proposed action is inconsistent with the predominant architectural scale and character.

The Springs area of East Hampton Town is the most densely populated area within the town. There are few areas of commercial development and the area is primarily comprised of 1 – 2 story single-family residences on roughly ½ - 1 acre lots. As such, a 180' tall radio tower is inherently discordant with the existing architectural scale and character.

The nearest towers, whether for radio communication (only) or cell service are a 60' tall utility pole ~0.9 miles away, a 300' tall lattice tower ~2.3 miles away, a 150' tall monopole ~2.75 miles away, and a 199' tall stealth monopole ~2.7 miles away. There are no significantly tall structures within Springs.



Town of East Hampton

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Planning Department
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Fax (631) 324-1476

Telephone (631) 324-2178

July 01, 2020

To: Planning Board

From: Fabiha Mubassirah FM
Planner

Re: 180 SB LLC Minor Site Plan
SCTM#300-74-5-30.5

Attached is a memorandum prepared by Thomas Crouch, Assistant Town Attorney subsequent to the initial evaluation of the 180 SB LLC application. A legal question was raised regarding the appropriate clearing limit for the property. The initial evaluation states that the clearing level of 110,715 sq.ft. is pre-existing but exceeds the C&R (Covenants and Restrictions) conditions and the permitted clearing under HPOD (Harbor Protection Overlay District) regulations. The attached memorandum determined the maximum allowable clearing limit for this property to be the clearing level of 110,715 sq.ft. existing at the time of the subdivision and the filing of the Declaration of Covenants and Restrictions and recommends that the Planning Board amend the 35% clearing restrictions required by the C&R.



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MEMORANDUM

TO: Sam Kramer, Chairman of Planning Board

FROM: Thomas Crouch, Attorney for Planning Board

RE: Clearing Issue regarding 180 SB, LLC

DATE: 7/1/2020

The Planning Board has asked for a legal opinion regarding the appropriate clearing for pending 180 SB, LLC application. This property, popularly known as the Duke Estate, was the subject of a subdivision waiver approval in 1994. The 1994 approval resolution created three lots, each subject to no more than 35% clearing of natural vegetation (see paragraph 16.18, Waiver of Subdivision Approval dated June 16, 1994). Additionally, the same paragraph required the property to comply with more restrictive clearing regulations, should the Town adopt them in the future. According to a Planning Department memo by Lisa D'Andrea, the then-existing clearing was 110,715 sq. ft. The resolution did not require any revegetation.

In 2002, the Planning Board amended the 1994 subdivision waiver approval, requiring the clearing on all lots to meet the restrictions in the Town's Harbor Protection Overlay District (HPOD). Once again, the resolution did not require any revegetation. (See Resolution Amending Approval dated January 30, 2002).

Subsequently, the clearing restrictions from the 1994 subdivision waiver approval and the 2002 resolution amending approval were combined in a covenant filed with the Suffolk County Clerk on June 15, 2002 (see paragraph 10 of Declaration of Covenants and Restrictions). The covenant requires each lot to comply with a 35% clearing restriction, a more restrictive restriction if imposed in the Town Code, and the restrictions required by HPOD.

Once again, there is no evidence that revegetation was required or undertaken in light of these restrictions. Therefore, it is likely that a court would find that the appropriate clearing is



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the then-existing clearing at the time of the 1994 approval and the 2002 amendment, 110,715 sq. ft.

It appears that the then-overcleared status (by HPOD standards) was not raised by either the applicant or the Town, but was clearly the existing condition at the time the covenant was submitted and approved, it is our recommendation that the Planning Board consider the amendment of the covenant to reflect the appropriate, then-existing clearing level of 110,715 sq. ft. According to the filed covenant, the Planning Board can amend the clearing restriction “with written consent of a majority plus one of the Planning Board . . . after a public hearing held on ten (10) days notice” (see paragraph 19, Declaration of Covenants and Restrictions).



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SITE PLAN/SPECIAL PERMIT EVALUATION
180 SB LLC Minor Site Plan
SCTM#300-74-5-30.5

Prepared by: Fabiha Mubassirah, Planner *F.A.M.* 
Date: June 03, 2020

1. APPLICATION INFORMATION

A. INFORMATION RECEIVED:

- Environment Assessment Short Form Part 1 (EAF)
- Site Plan Map prepared by George Walbridge Surveyors, P.C. dated January 8, 2020
- Subject Covenant filed on June 11, 2003
- Covenants & Restrictions and Easements
- Stage 1 Report prepared by Tracker Archeology, Inc., dated February, 2020.
- Site Plan Map prepared by George Walbridge Surveyors, P.C. revised May 11, 2020.
- Revegetation Plan prepared by LaGuardia Design Group Landscape Architecture, dated May 7, 2020.

B. DATE SUBMITTED: January 21, 2020; Stage 1 Report submitted on March 24, 2020; Revegetation Plan and Revised Site Map submitted on May 26, 2020

C. OWNER: 180 SB LLC

D. APPLICANT/AGENT: Alice Cooley- Matthews, Kirst & Cooley, PLLC

E. SCHOOL DISTRICT: East Hampton

F. STREET NAME: 180 Springy Banks Road

G. TYPE OF STREET: Town Road

H. ZONING DISTRICT: A2, Harbor Protection Overlay District

I. SEQRA - TYPE OF ACTION: Type II

J. INVOLVED AGENCIES: N/A

K. OTHER REVIEW: N/A

2. DESCRIPTION OF PROJECT

- A. **PROPOSED USE(S) AS CLASSIFIED BY TOWN CODE:** Single Family Residence
 - B. **EXISTING USE(S) AS CLASSIFIED BY TOWN CODE:** Single Family Residence
 - C. **ARE THE EXISTING & PROPOSED USES PERMITTED OR SPECIAL PERMITTED BY THE TOWN CODE?** Permitted
 - D. **AREA OF PARCEL (SQUARE FEET):** 359,055 square feet to tie line and 192,039 square feet to top of bluff and excluding driveway easement
 - E. **MOST RECENT CERTIFICATE OF OCCUPANCY:**
1/16/19- C/O/ 34517 – Anthony D. Duke et als- 2511 sq. ft. first floor, 1873 sq. ft. second floor, frame, one family single family residence having one kitchen only, containing a total of (6) six bedrooms only; 1068 sq. ft. covered porches; 364 sq. ft. screened porch; 100 sq. ft. deck; 1400 sq. ft. in place in kind roof deck; 720 sq. ft. Gunitite swimming pool with proper fencing and patio; tennis court; 192 sq. ft. shed; 144 sq. ft. gazebo; generator.
 - F. **DESCRIPTION OF EXISTING STRUCTURES:** See most recent Certificate of Occupancy.
 - G. **DESCRIPTION OF PROPOSED STRUCTURES:** Construction of a new single family dwelling outside of natural resource jurisdiction, demolition of existing house, installation of a nitrogen-reducing sanitary system, removal of the pool in the bluff crest setback, construction of a tennis house and improvements to the existing tennis court and drainage structures in the driveway.
 - H. **EXISTING & PROPOSED LOT COVERAGE:** N/A
 - I. **EXISTING & PROPOSED TOTAL COVERAGE:** N/A
 - J. **HEIGHT OF PROPOSED STRUCTURES:** N/A
 - K. **NUMBER OF STORIES OF PROPOSED STRUCTURES:** N/A
 - L. **NUMBER OF EXISTING PARKING SPACES:** N/A
 - M. **NUMBER OF PARKING SPACES REQUIRED:** N/A
 - N. **TOTAL PARKING SPACES PROVIDED:** N/A
 - O. **VARIANCES REQUIRED:** No
 - P. **DOES EXISTING & PROPOSED LIGHTING COMPLY WITH BOARD POLICY?** N/A
 - Q. **DISTANCE TO PUBLIC WATER:** 12” Water Mains on Springy Banks Road
 - R. **SOURCE OF WATER SUPPLY:** Public water
 - S. **TYPE OF SANITARY SYSTEM:** Individual sanitary system
 - T. **ARE EXISTING & PROPOSED SANITARY SYSTEMS DEPICTED:** N/A
 - U. **DO SANITARY CALCULATIONS COMPLY WITH SCDHS STANDARDS?** N/A
 - V. **NUMBER OF ACCESS POINTS:** One
 - W. **IS SIGHT DISTANCE ACCEPTABLE?** N/A
 - X. **IS THE PROPOSAL ADA COMPLIANT?** N/A
3. **SUBMISSION REQUIREMENTS PURSUANT TO CHAPTER 255 (LIST**

ITEMS AND SECTION FOR THOSE ITEMS NOT SUBMITTED) : Revised revegetation plan and revised clearing calculations with titles that reflect the name of the application

4. SITE ANALYSIS:

- A. SOIL TYPE:** Carver and Plymouth sands, 0 to 3 percent slopes (CpA), Carver and Plymouth sands, 3 to 15 percent slops (CpA).
- B. FLOOD HAZARD ZONE:** X & VE
- C. DESCRIPTION OF VEGETATION:** Existing clearing- 143,095 sq. ft.; pre-existing – 110,715 sq. ft.
- D. RANGE OF ELEVATIONS:** 10’-45’
- E. NATURE OF SLOPES:** level to steeply sloping terrain
- F. TYPE OF WETLANDS WITHIN NRSP JURISDICTION:** Tidal wetland (Three Mile Harbor)
- G. SETBACK FROM ANY WETLAND OR WATER BODY:** ~130’
- H. ARE THERE TRAILS ON SITE?** Yes
- I. DEPTH TO WATER TABLE:** Not identified
- J. DOES THE SITE CONTAIN HISTORIC OR ARCHAEOLOGICAL RESOURCES?** Yes
- K. AGRICULTURAL DATA STATEMENT REQUIRED:** No
- L. IS THE SITE CONTAINED WITHIN:**

NYS Significant Coastal Fish & Wildlife Habitat	No
Local Significant Coastal Fish & Wildlife Habitat	No
US Fish & Wildlife Significant Ecological Complex	No
PEP CLPS list	No
Town Community Preservation Fund List	No
Recommended Scenic Area of Statewide Significance	No
Suffolk County designated Pine Barrens	No
South Fork Special Groundwater Protection Area	No
Town Overlay District	No

Other Background Information:

The subject property is referred to as Lot 2 of the Minor Subdivision Map of Anthony D. Duke. It is located at 180 Springy Banks Road and is bordered by Three Miles Harbor to the northeast and residential properties on other surrounding sides. The parcel consists of 4.409 acres or 192,039 square feet of lot area. The subject parcel is zoned A5: Residence and within Harbor Protection Overlay District (HPOD). The project area contains level to steeply sloping terrain with well drained soils.

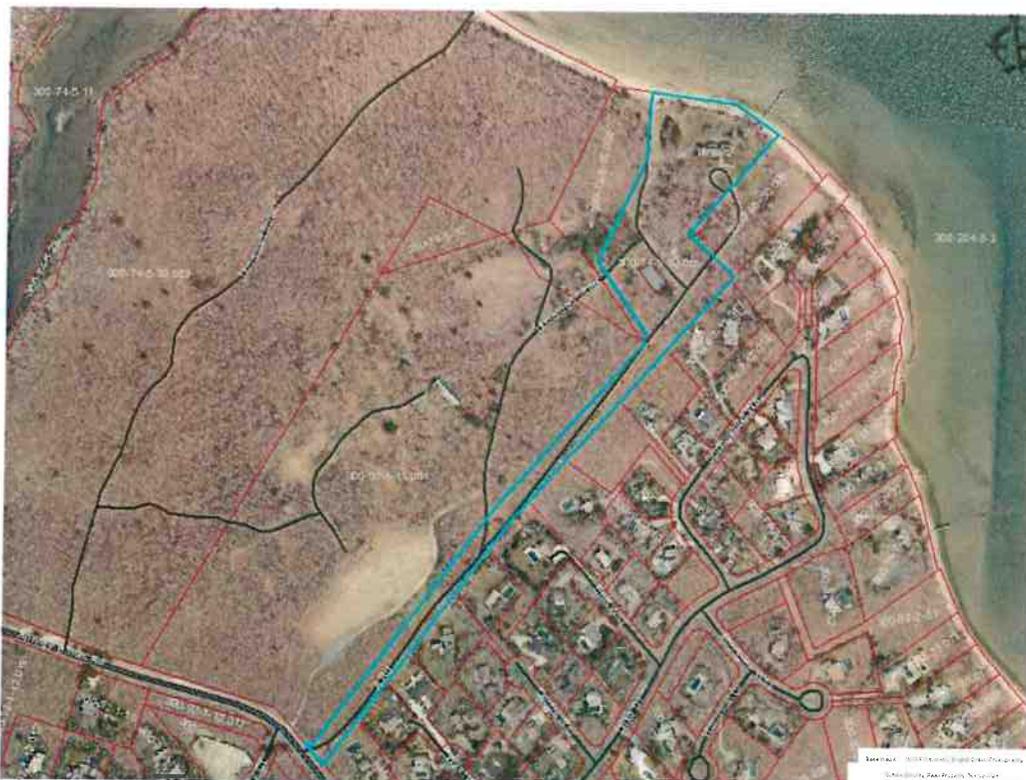
The property was subdivided in 2002 and is subject to Declaration of Covenants and Restrictions (C&R) recorded on June 15, 2002 as a part of the Planning Board’s final approval of the Map of Anthony D. Duke. The site plan application is submitted in accordance with the paragraph six (6) of the C&R, which states the following-

“6. Future improvements on Lot No 2 which require the excavation of land, such as construction of house additions which enlarge the footprint of the existing dwelling,

installation of new septic components, etc. shall require site plan review and approval by the Planning Board of the Town of East Hampton. The purpose of said site plan review shall be to insure that any damage to archeological remains on the subject lot area avoided or mitigated”.

The application proposes such work requiring excavation, including the construction of a new single family dwelling outside of natural resources jurisdiction, demolition of the existing house, installation of a nitrogen-reducing sanitary system, removal of the pool in the bluff crest setback, construction of a tennis house and improvements to the existing tennis court, and drainage structures in the driveway.

The subject parcel holds archeological significance with numerous prehistoric sites reported nearby the subject area. The applicant has submitted a Stage 1 Archeological report for the project as required of the C&R’s to ensure that any new constructions or excavations does not have an impact on the archeological remains on the subject lot.



Subject parcel on Town’s GIS system

Issues:

Archeology Findings

The Stage I Archeological report indicates that the property was seen as having an above potential for recovering prehistoric sites, based upon the distance to three mile harbor, other prehistoric sites, Indian trails, the terrain and well drained soils. During the field testing for the report, 62 ST’s (Shovel Test) were excavated. The Planning Department finds the test

holes and excavated areas to be acceptable and covered the areas as depicted on the site plan as potential areas for excavations.

Findings from the field tests indicate –

- One prehistoric artifact a quartzite tertiary flake was encountered in the gravel parking lot, not in situ.
- No historic artifacts or features were encountered.
- Soils and landscape appeared to have been, at least partially, graded or filled.

Thus according to the archeological report, no further archaeological work is recommended for the remainder of the project area.



Location of shovel tests on site

Clearing

- The paragraph ten (10) of the C&R states that the clearing limit of this property to be 35% as quoted below-
“10. In accordance with the requirements of the Suffolk County Planning Commission, no more than thirty-five percent (35%) of each lot shown on the map may be cleared of its natural vegetation. If more restrictive regulations regarding clearing are imposed in the future by Town Code or other law, the more restrictive regulation shall be applied. All clearing on the lots in the map shall also comply with Town of East Hampton regulations governing properties in the Harbor Protection Overlay District (HPOD).”
- The Certificate of Occupancy of 01/16/19 references a survey dated January 09, 2019 that indicates that the clearing at that time was 110,715 s.f. which exceeds the 35% clearing limit conditioned by the C&R which is 67,213.65 s.f. in area and the permitted clearing under the HPOD regulations.

- A memorandum dated March 3, 2016, revised June 1, 2018 from Lisa D'Andrea, Environmentalist I in the Planning Department, advises that the clearing existing at that time, 110,715 s.f. was consistent with clearing shown on the 1994, 1998, 2001, 2004, 2010 and 2013 aerials and should be considered to be pre-existing, nonconforming.
- The survey submitted with the application, prepared by George Walbridge Surveyors and dated May 11, 2020 indicates that the current clearing is 143,095 s.f.
- A revegetation plan has been submitted for the clearing occurred for the improvements done around the tennis court. The map dated revised on May 11, 2020 depicts an area of 30,745 square feet of understory to be revegetated or allowed to revegetate naturally, reducing clearing to 112,350 s.f. However, this exceeds the clearing depicted on the map referenced in the Certificate of Occupancy of 01/16/19 and the clearing determined to be pre-existing.

Revegetation Plan

The revegetation plan should be revised to reflect the attached Town of East Hampton standards for revegetation and should reflect the native oak forest found in this area, rather than the field and successional species proposed. The plan should also provide for reducing the clearing to that determined to be pre-existing. The title of the map should also be revised to reflect the title of the application.

Map Revisions

The area that will be revegetated to reduce the clearing to that permitted as pre-existing should be indicated on the revised map along with revised clearing calculations. The title of the map should be revised to reflect the title of the application.

Minor Site Plan

The applicant has requested that the Planning Board consider granting the approval of the site plan without a public hearing in accordance with §255-6-45, based on the limited scope of the site plan review of this application and the archeologist's recommendation of no further archeological work, along with the present restrictions in place preventing public gatherings.

The Board should consider the attached criteria in § 255-6-45 of the Town Code and determine if the project can be considered a minor site plan, and if so whether to waive the public hearing. The Planning Department notes that the project will not require a variance if the clearing is brought into conformance, additional parking, or approval from the Suffolk County Department of Health.

SEQRA

The project is a Type II Action pursuant to SEQRA and Chapter 128 of the Town Code. It is recommended that the Planning Board request lead agency status for the project.

Title of Plans

The plans submitted to date do not provide the title of the application, 180 SB LLC Minor Site Plan. All plans submitted for this application, including but not limited to site plans, drainage plans, and landscaping and lighting plans, must be labeled with the title of the project. This title must be consistent with the title that the application was filed under unless an official request is made to modify the application name. All correspondence submitted should also be consistent with this title. This consistency is essential for record keeping purposes and any plans not so labeled will be required to be revised accordingly.

Planning Board Consensus

The Planning Board should discuss if the Stage I Archeological report findings are sufficient and satisfy that the proposed excavations would not have any impact on the archeological remains on the subject lot.

Additional comments: _____

The Board should discuss whether a revised revegetation plan should be submitted.

Additional comments: _____

The Board should advise the applicant whether revised clearing information as discussed above should be depicted on the map.

Additional comments: _____

The Board should determine if the project can be classified as minor site plan pursuant to §255-6-45 of the Town Code and to waive the public hearing

Additional comments: _____

Additional Board Comments:

§ 255-6-45 Minor site plans.

Notwithstanding the provisions of § 255-6-40 hereof, the Planning Board may waive the holding of a public hearing on a site plan application which is classified as a Tier Two personal wireless service facility application or which meets each and every one of the following conditions:

A. Conformance to chapter. The proposed structure does not require a variance from any provision of this chapter.

B. Health Department approval. The proposed structure does not require approval of the Suffolk County Department of Health Services.

C. Area and habitability. The proposed structure is not habitable and covers no more than 500 square feet in area.

D. Parking. No additional parking is required under this chapter.

E. Planning considerations. The proposed structure will not create a visual detriment to surrounding properties or to the general public and will not cause drainage problems, impede traffic circulation or interfere with the proper overall planning of the site.

F. Public controversy. The application has caused no significant public controversy.

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Hampton Town Board has been obtained, the said areas shall be otherwise left in their natural state forever.

5. Lot No 2 of the Minor Subdivision Map of Anthony D. Duke is encumbered by a large lot scenic easement, providing that the said lot may be used for the construction or erection of not more than one (1) single family residence plus accessory buildings and structures, and may never be subdivided.

6. Future improvements on Lot No 2 which require the excavation of land, such as construction of new buildings, construction of house additions which enlarge the footprint of the existing dwelling, installation of new septic system components, etc. shall require site plan review and approval by the Planning Board of the Town of East Hampton. The purpose of said site plan review shall be to insure that any damage to archeological remains on the subject lot are avoided or mitigated.

7. No buildings or structures, except fences, shall be constructed within ten (10) feet of the boundary of any scenic easement or within ten (10) feet of the boundary of the conservation easement on Lot 1.

8. Prior to the commencement of clearing, grading or construction activities on Lots 1 or 3 of the Minor Subdivision of Anthony D. Duke, project-limiting fencing shall be installed along the perimeters of the areas proposed to be cleared. This fencing shall remain in place until all clearing, grading or construction activity on the particular lot or lots

has been completed.

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9. No grading or excavation may be undertaken on any portion of Lot No 1 unless a qualified archaeologist is present on site at the time of such grading or excavation. Prior to the commencement of such grading or excavation, at least forty-eight (48) hours advance notice of the proposed grading or excavation, together with the name and qualifications of the archeologist supervising the work shall be given in writing to the Town Planning Director.

10. In accordance with the requirements of the Suffolk County Planning Commission, no more than thirty-five percent (35%) of each lot shown on the map may be cleared of its natural vegetation. If more restrictive regulations regarding clearing are imposed in the future by Town Code or other law, the more restrictive regulation shall be applied. All clearing on the lots in the map shall also comply with Town of East Hampton regulations governing properties in the Harbor Protection Overlay District (HPOD).

11. In accordance with the requirements of the Suffolk County Planning Commission, no grading of land shall hereafter be permitted within fifty (50) feet of the bluff edge on Lot No 2, except as necessary to control or remedy erosion or to prevent storm water from flowing over the edge of the bluff and provided that all necessary permits are first obtained.

12. All swimming pools hereinafter constructed on the lots shall be set back as far

PLANT SPACING TABLE

Number of of plants needed for an area based on spacing

		Planting area (sqft)							
		500	1,000	2,000	3,000	4,000	5,000	10,000	20,000
Spacing (ft)	1	500	1,000	2,000	3,000	4,000	5,000	10,000	20,000
	1.5	222	444	888	1,333	1,777	2,222	4,444	8,888
	2	125	250	500	750	1,000	1,250	2,500	5,000
	3	55	111	222	333	444	555	1,111	2,222
	4	31	62	125	187	250	312	625	1,250
	5	20	40	80	120	160	200	400	800
	6	13	27	55	83	111	138	277	555
	8	7	15	31	46	62	78	156	312
	9	6	12	24	37	49	61	123	246
	10	5	10	20	30	40	50	100	200
	12	3	6	13	20	27	34	69	138

Plant Type	Size	Planting distance- on center
trees	8-10ft	10 ft
shrubs	3-4 ft	5 ft

4. **Revegetation Details:** The revegetation must consist of a canopy and understory as outlined below. The canopy is required to consist of trees selected from the list below that measuring a minimum of 12' in height (from the base of the trunk to the top of the crown) established on 15' centers (1 per 225 sq. ft.) throughout the area that must be revegetated.

Area of Revegetation (sq. ft.)	/225	= # of trees required
	/225	=

Trees Permitted for Use in Water Recharge Overlay Revegetation Projects:

Common Name	Latin Name	# proposed
American Holly	<i>Ilex opaca</i>	
Black Oak	<i>Quercus velutina</i>	
Pitch Pine	<i>Pinus rigida</i>	
Post Oak	<i>Quercus stellata</i>	
Sassafras	<i>Sassafras albidium</i>	
Scarlet Oak	<i>Quercus coccinea</i>	
Shad	<i>Amelanchier canadenses</i>	
White Pine	<i>Pinus strobus</i>	
Total #		=

Shrubs Permitted for Use in Water Recharge Overlay Revegetation Projects:

The understory must be selected from the shrubs listed below. The minimum size of each shrub must be a one-gallon container. The shrubs must be planted on 3' centers beneath the canopy to a distance of within 5' of each tree within the revegetation area.

Common Name	Latin Name
Bayberry	<i>Myrica pensylvanica</i>
Black Huckleberry	<i>Gaylussacia baccata</i>
Lowbush Blueberry	<i>Vaccinium angustifolia</i>

5. **Inspection requirements:** Please contact the Building Department once the revegetation has been completed. If you have any questions regarding the requirements of the Water Recharge Overlay District, please feel free to call the Building Department at (631)324-4145 or the Planning Department at (631)324-2178.

*****Permitted clearing formulas**

Residence Districts:

Lot Area (sq. ft.)	Maximum Clearing Permitted
Up to and including 39,999 sq. ft.	10,000 sq. ft. or 35% of lot area, whichever is greater
From 40,000 to and including 280,000 sq. ft.	10,000 sq. ft. + (lot area x 12.5%)
Greater than 280,000 sq. ft.	45,000 sq. ft.

Commercial Districts: All lots: 10,000 square feet or 50% of lot area, whichever is greater